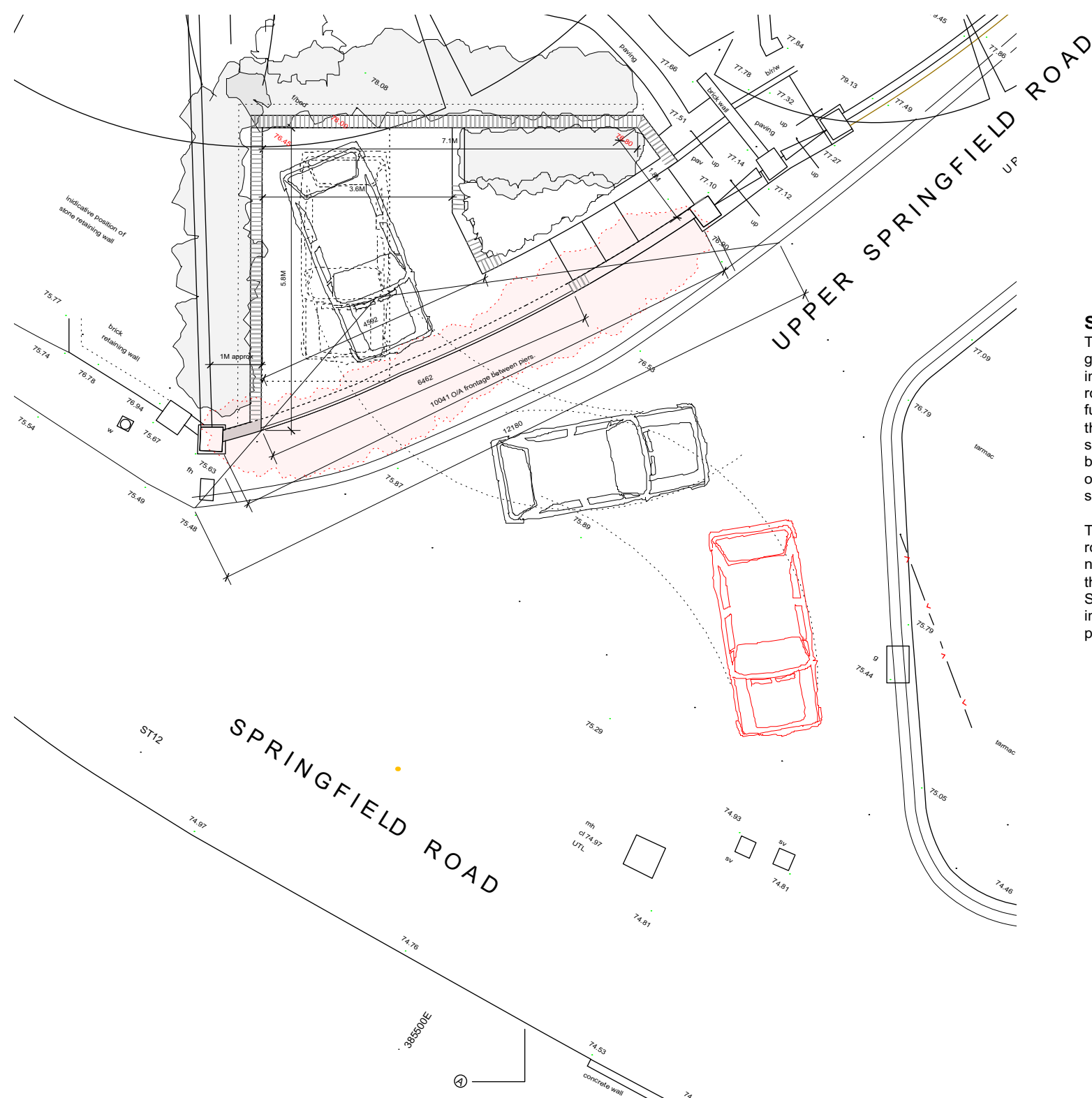
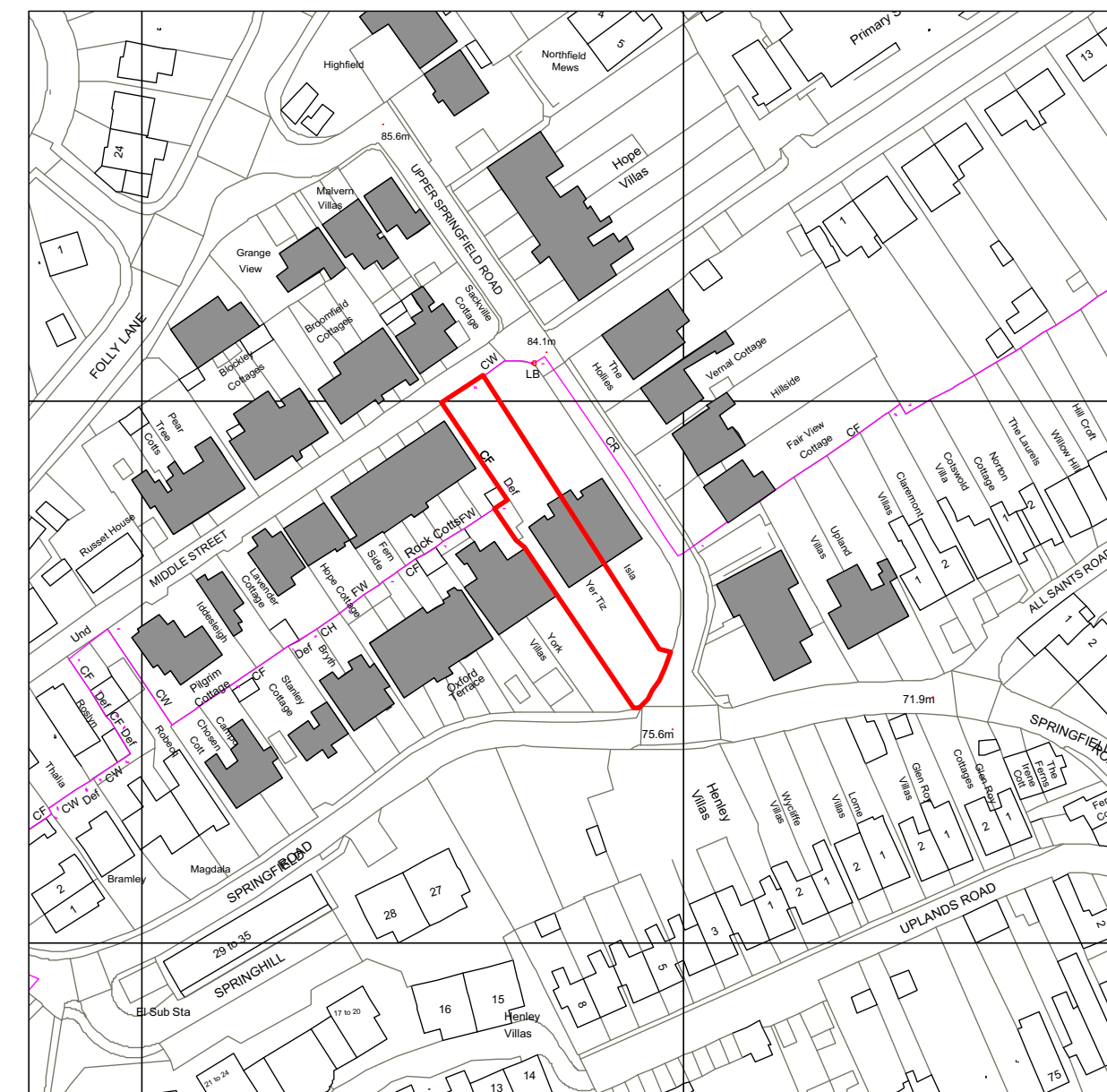
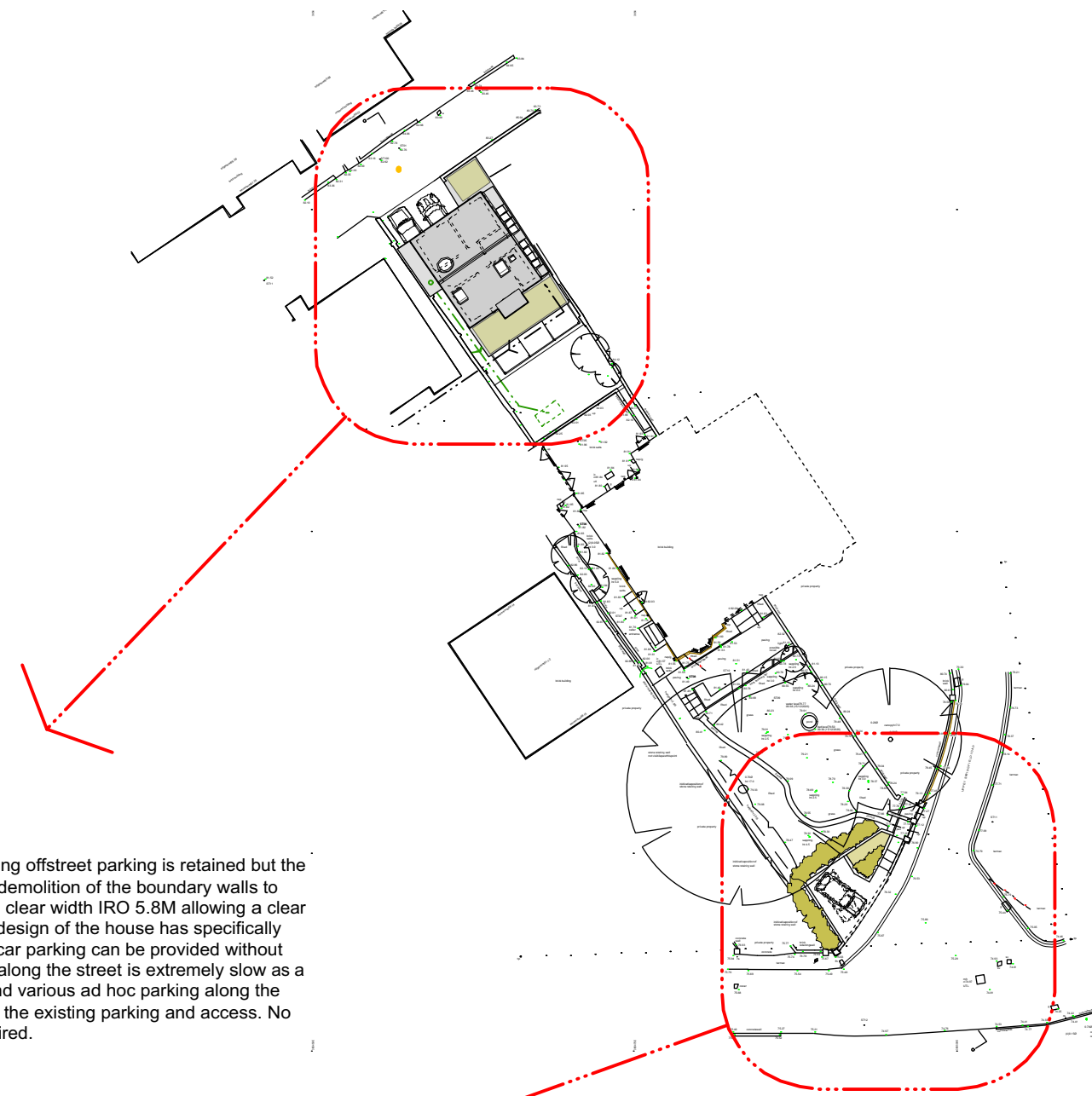


MIDDLE STREET

In the proposed scheme the existing offstreet parking is retained but the access is improved by the partial demolition of the boundary walls to either side. This creates an overall clear width IRO 5.8M allowing a clear 'path zone' to the front door. The design of the house has specifically been developed to ensure that 2-car parking can be provided without overhanging the highway. Traffic along the street is extremely slow as a consequence of the road width and various ad hoc parking along the street, and the proposals improve the existing parking and access. No dropped kerb modification is required.



SPRINGFIELD RD

The existing angled boundary makes for an irregular layout - the proposed design creates a generous one-car bay with a splayed plan to create more manoeuvring width. The parking is incorporated into a wider landscaping design, with a planted bank sloping down towards the road to allow good visibility onto the highway. A stepped ramp is incorporated in front of this, further reducing the levels adjacent to the road, whilst providing an integrated approach to join the existing steps by the existing stone pier. We have developed the design with the streetscape in mind; framed by the original stone and brick piers to each side, and with a backdrop of hedge and brick retaining wall that relates to the geometry of the villa above, the overall design 'makes sense' visually within its context. It is our feeling that the overall streetscape design is improved by the proposed layout without detrimental impact on safety.

The location of the proposed parking is at a wide corner where two otherwise constrained roads meet. Speed limits are 20 mile an hour, but in practice traffic speeds are lower given the nature of the adjacent streets. With the removal of the hedge and boundary wall, visibility at this corner will be much improved, and the pavement between Springfield and Upper Springfield Rd is on the other side of the street, clear from any cars pulling out. We have indicated tracking on the proposal but with this configuration there are numerous options for parking and manoeuvring and visibility is good.



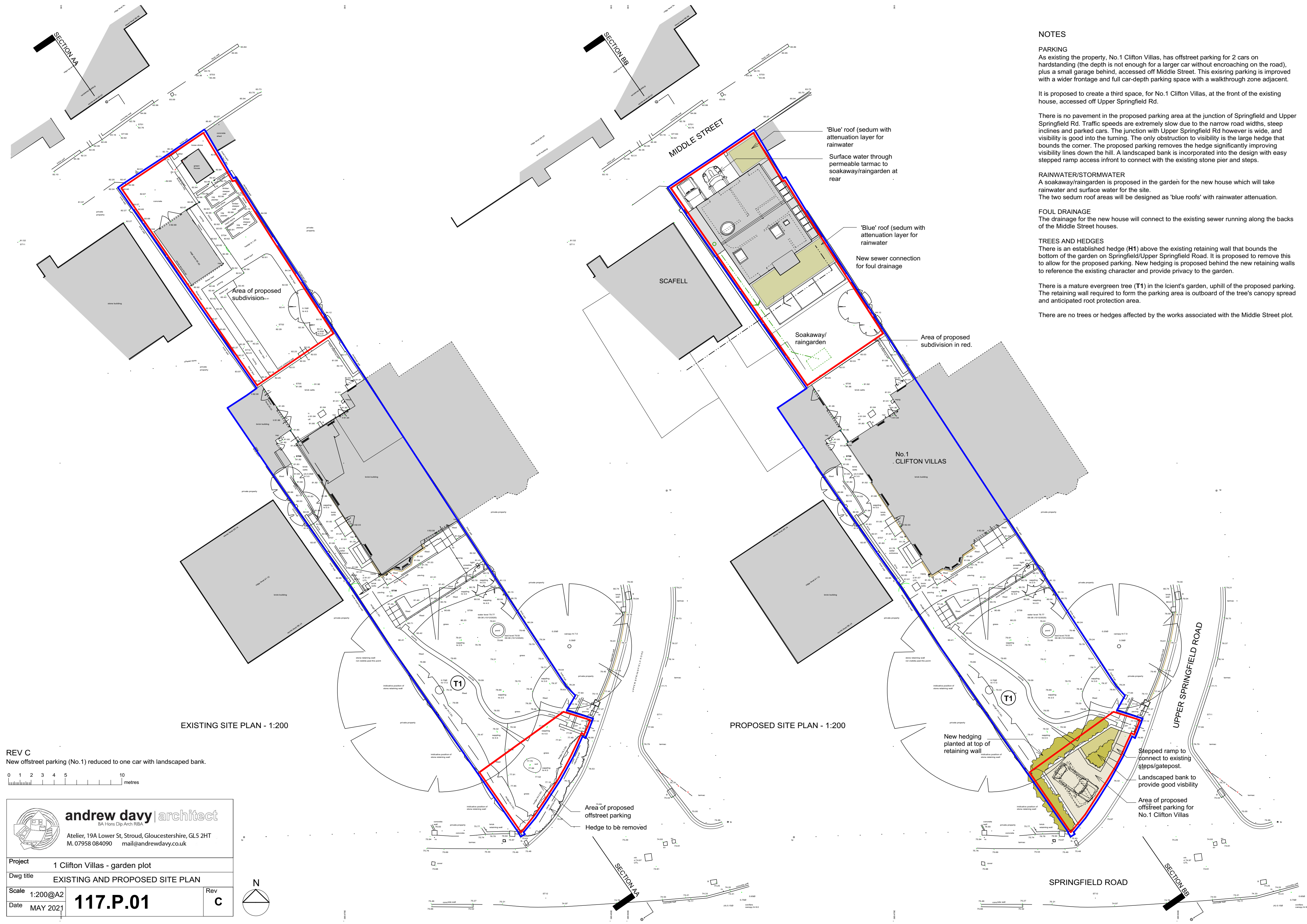
MIDDLE STREET VIEW

No1 Clifton Villas is one of only a few houses in the street that has existing full-depth offstreet parking and in fact has sufficient hardstanding for two cars, although the configuration of the low return boundary wall prevents direct side-by-side access. The proposals increase the frontage to improve access.

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Project	1 Clifton Villas	
Dwg title	PROPOSED PARKING DIAGRAMS	
Scale	1:100@A2	117.P.10
Date	AUG 2021	
Rev	B	



NOTES

PARKING
 As existing the property, No.1 Clifton Villas, has offstreet parking for 2 cars on hardstanding (the depth is not enough for a larger car without encroaching on the road), plus a small garage behind, accessed off Middle Street. This existing parking is improved with a wider frontage and full car-depth parking space with a walkthrough zone adjacent.

It is proposed to create a third space, for No.1 Clifton Villas, at the front of the existing house, accessed off Upper Springfield Rd.

There is no pavement in the proposed parking area at the junction of Springfield and Upper Springfield Rd. Traffic speeds are extremely slow due to the narrow road widths, steep inclines and parked cars. The junction with Upper Springfield Rd however is wide, and visibility is good into the turning. The only obstruction to visibility is the large hedge that bounds the corner. The proposed parking removes the hedge significantly improving visibility lines down the hill. A landscaped bank is incorporated into the design with easy stepped ramp access in front to connect with the existing stone pier and steps.

RAINWATER/STORMWATER
 A soakaway/raingarden is proposed in the garden for the new house which will take rainwater and surface water for the site.
 The two sedum roof areas will be designed as 'blue roofs' with rainwater attenuation.

FOUL DRAINAGE
 The drainage for the new house will connect to the existing sewer running along the backs of the Middle Street houses.

TREES AND HEDGES
 There is an established hedge (H1) above the existing retaining wall that bounds the bottom of the garden on Springfield/Upper Springfield Road. It is proposed to remove this to allow for the proposed parking. New hedging is proposed behind the new retaining wall to reference the existing character and provide privacy to the garden.

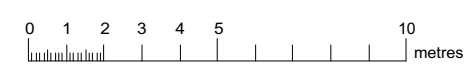
There is a mature evergreen tree (T1) in the client's garden, uphill of the proposed parking. The retaining wall required to form the parking area is outboard of the tree's canopy spread and anticipated root protection area.

There are no trees or hedges affected by the works associated with the Middle Street plot.

EXISTING SITE PLAN - 1:200

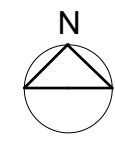
PROPOSED SITE PLAN - 1:200

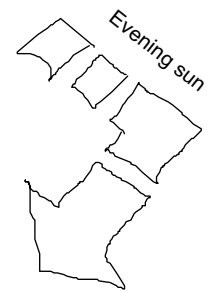
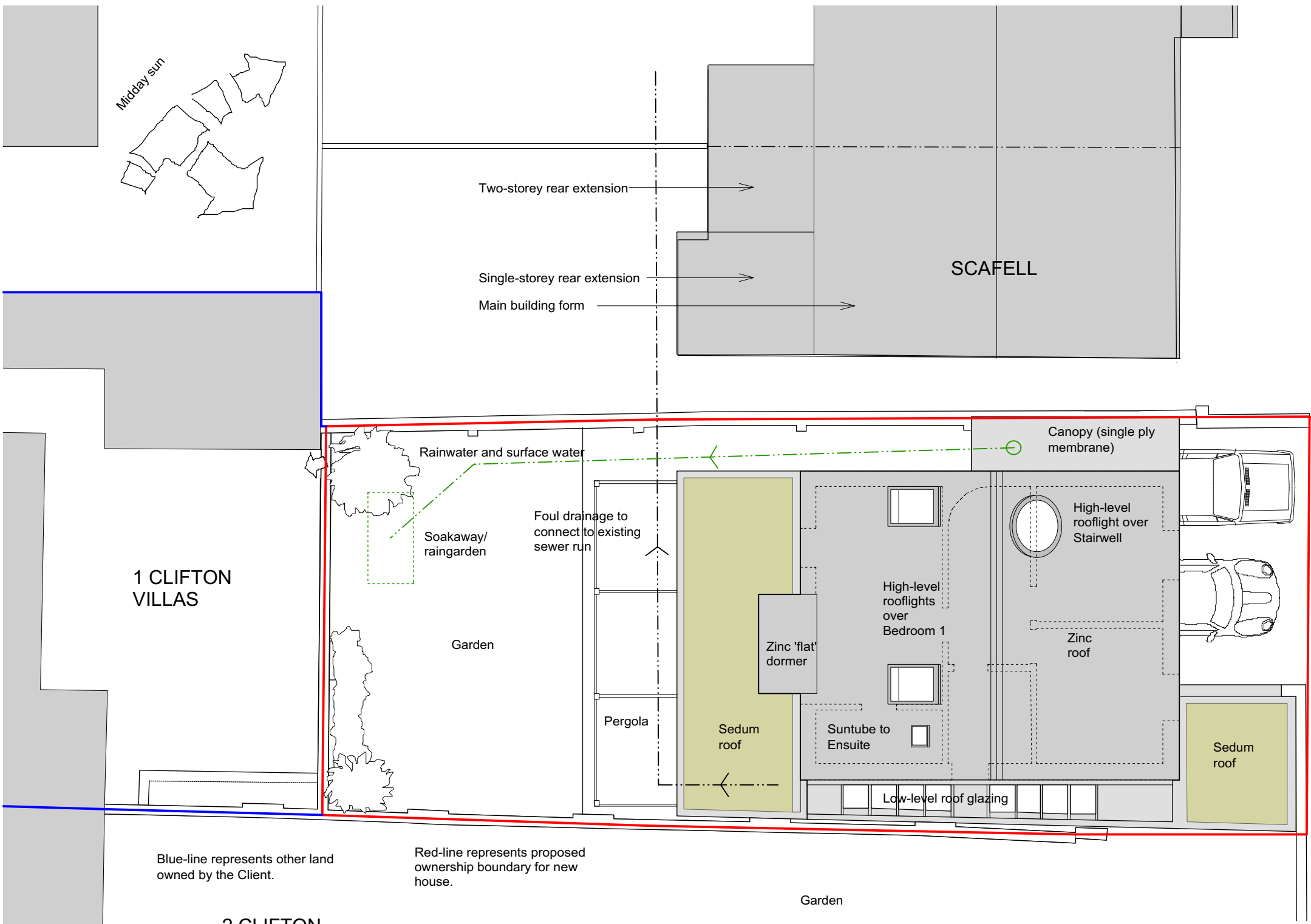
REV C
 New offstreet parking (No.1) reduced to one car with landscaped bank.



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Project	1 Clifton Villas - garden plot	
Dwg title	EXISTING AND PROPOSED SITE PLAN	
Scale	1:200@A2	Rev
Date	MAY 2021	117.P.01
		C





Midday sun

MIDDLE STREET

1 CLIFTON VILLAS

Rainwater and surface water

Soakaway/raingarden

Foul drainage to connect to existing sewer run

Garden

Pergola

Sedum roof

Zinc 'flat' dormer

High-level rooflights over Bedroom 1

Suntube to Ensuite

Canopy (single ply membrane)

High-level rooflight over Stairwell

Zinc roof

Sedum roof

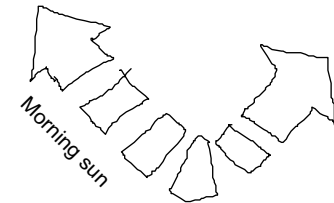
Low-level roof glazing

Garden

Blue-line represents other land owned by the Client.

Red-line represents proposed ownership boundary for new house.

2 CLIFTON VILLAS



Morning sun

REVISIONS

REV B
Sedum roof over single storey front extension reduced, and rooflights reconfigured to reflect revised layout at GFL.

NOTES

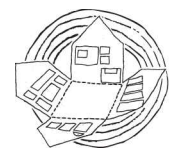
PARKING
The new house will have offstreet parking for 2 cars using the existing access on Middle St.

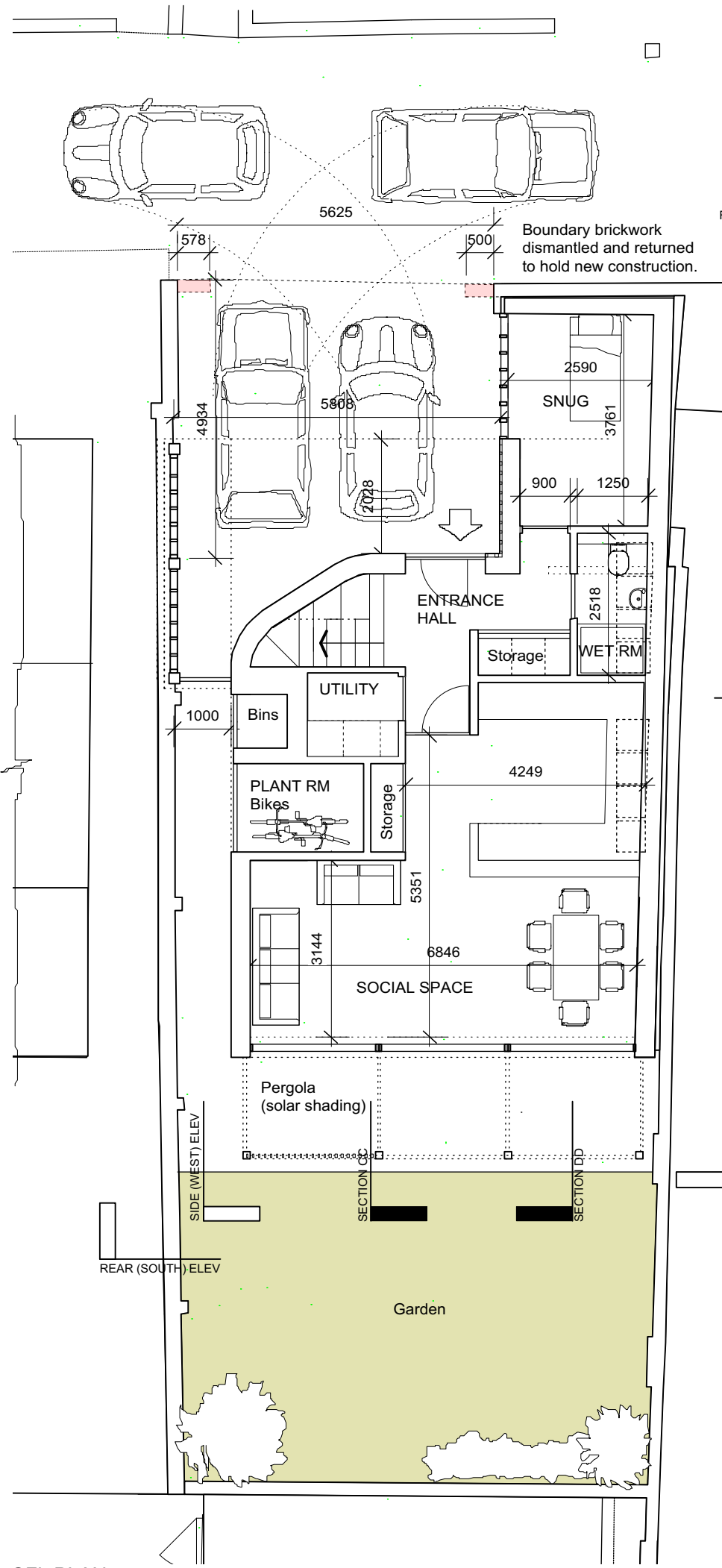
RAINWATER/STORMWATER
A soakaway/raingarden is proposed in the garden for the new house which will take rainwater and surface water for the site.
The two sedum roof areas will be designed as 'blue roofs' with rainwater attenuation.

FOUL DRAINAGE
The drainage for the new house will connect to the existing sewer running along the backs of the Middle Street houses.

TREES AND HEDGES
There are no trees or hedges affected by the works associated with the Middle Street plot.



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		Project	1 Clifton Villas - garden plot
Dwg title	SITE PLAN/ROOF PLAN		
Scale	1:100@A3	<h1>117.P.03</h1>	Rev
Date	MAY 2021		B

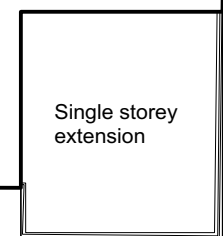


GFL PLAN

FRONT (NORTH) ELEV

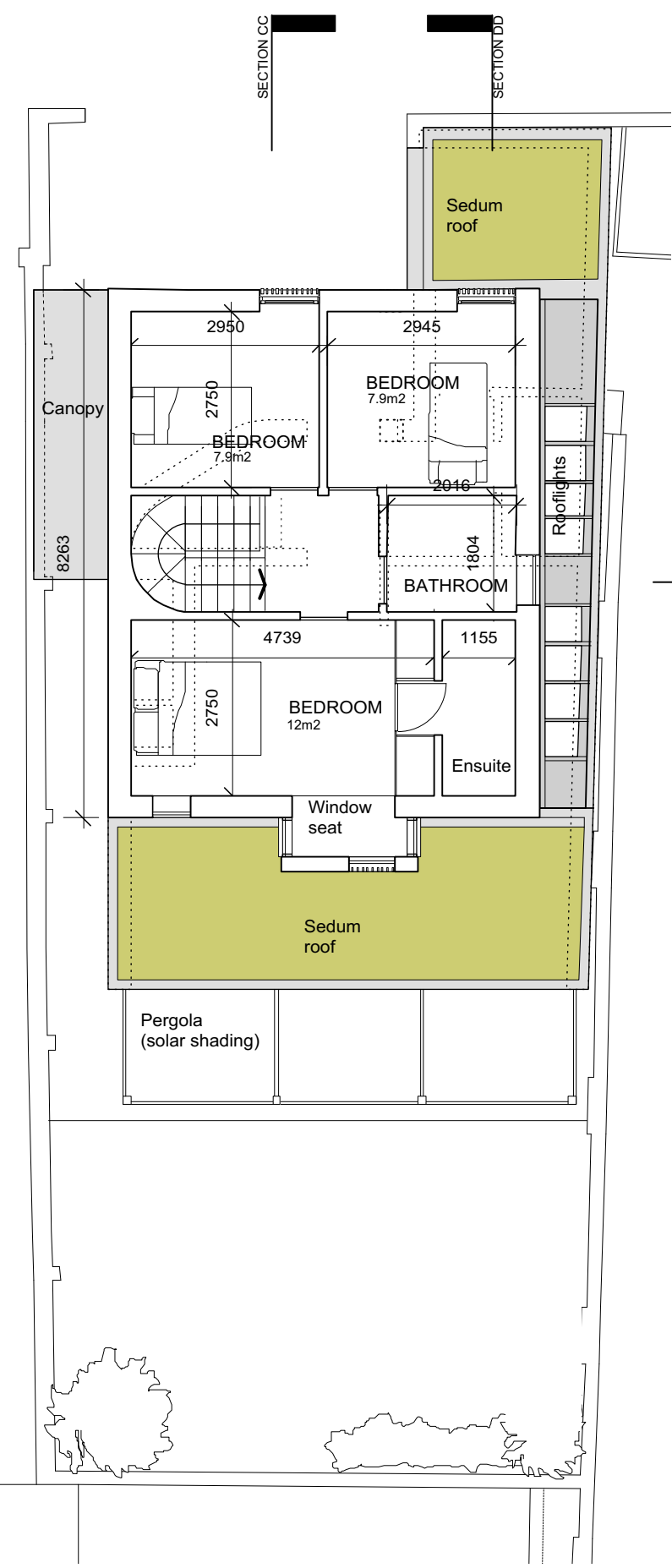
SECTION EE

SIDE (EAST) ELEV



Two-storey outrigger to adjacent property

FFL PLAN



SECTION EE

NOTES:
The main body of the house at FFL is designed to continue the main massing of the terrace. At FFL the sides of the proposed dwelling are held back from each boundary by 1M.

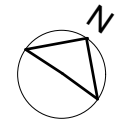
At GFL the footprint extends in three directions, to differing degrees. To front and rear these GFL extensions are treated as flat areas of sedum, to the side a low-pitch lean to roof, predominantly with roof-glazing over ancillary areas, and the Kitchen worktop.

To the other side a clear passageway is maintained through to the rear garden, with side access to bike storage and recycling.

A new brick wall is proposed between the new garden and the rear terrace to No.1 Clifton Villas, creating a nice walled courtyard garden character.

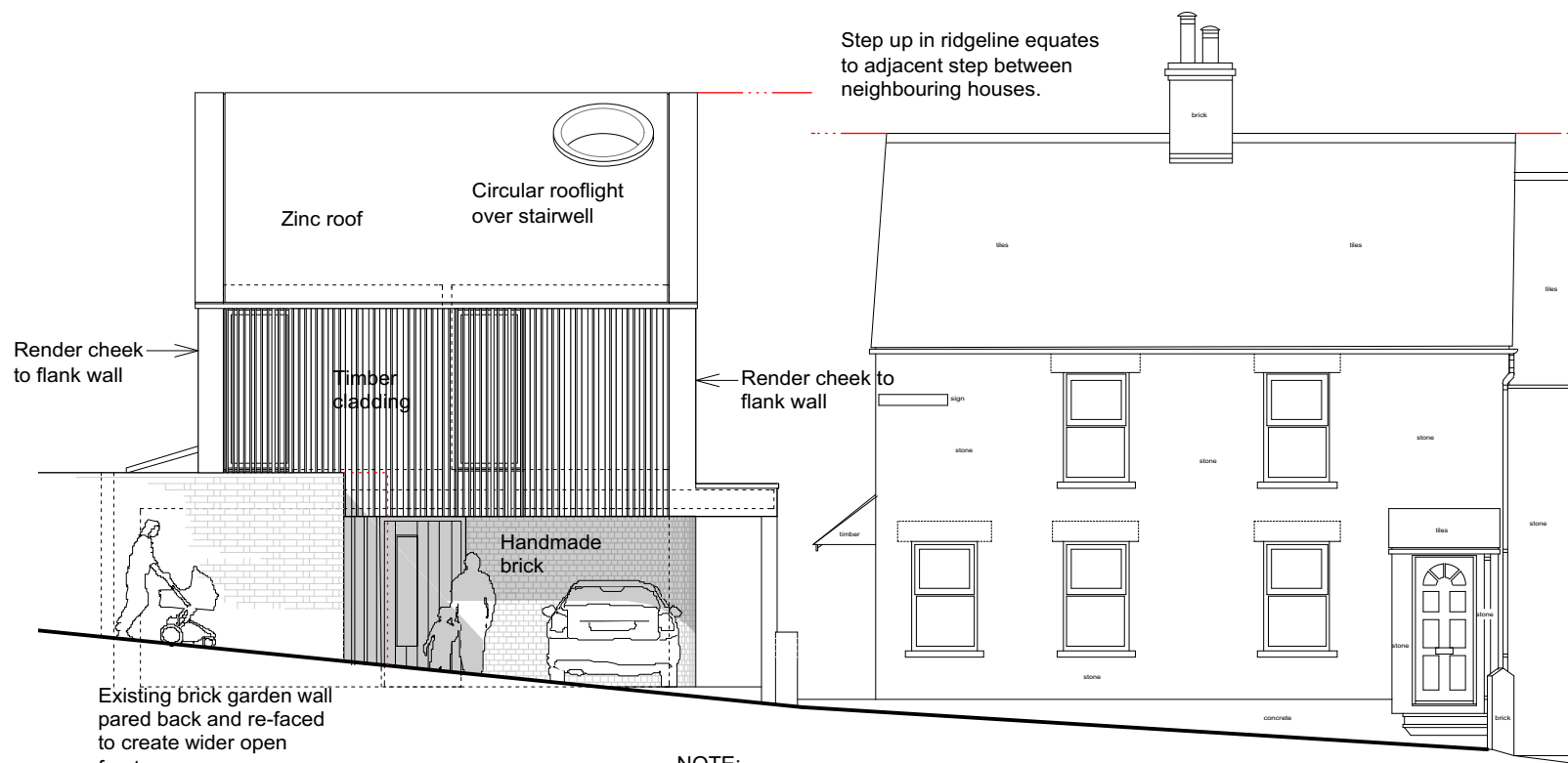
REVISIONS

REV C
Single storey front extension reduced in width to improve parking/access, and bin store/bike store revised to create a larger Plant Rm. Associated internal revisions.



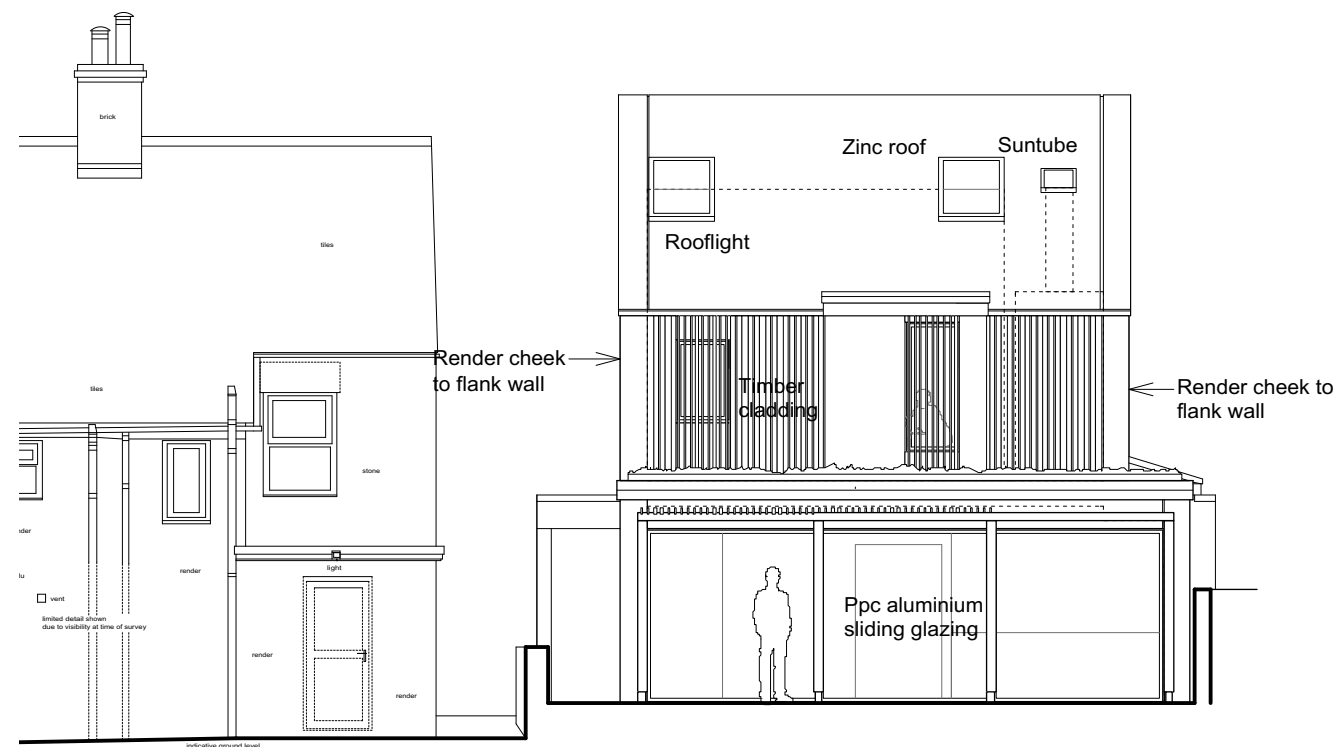
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Project	1 Clifton Villas - garden plot		
Dwg title	PROPOSED GFL AND FFL FLOOR PLANS		
Scale	1:100@A3	117.P.04	Rev
Date	MAY 2021		C

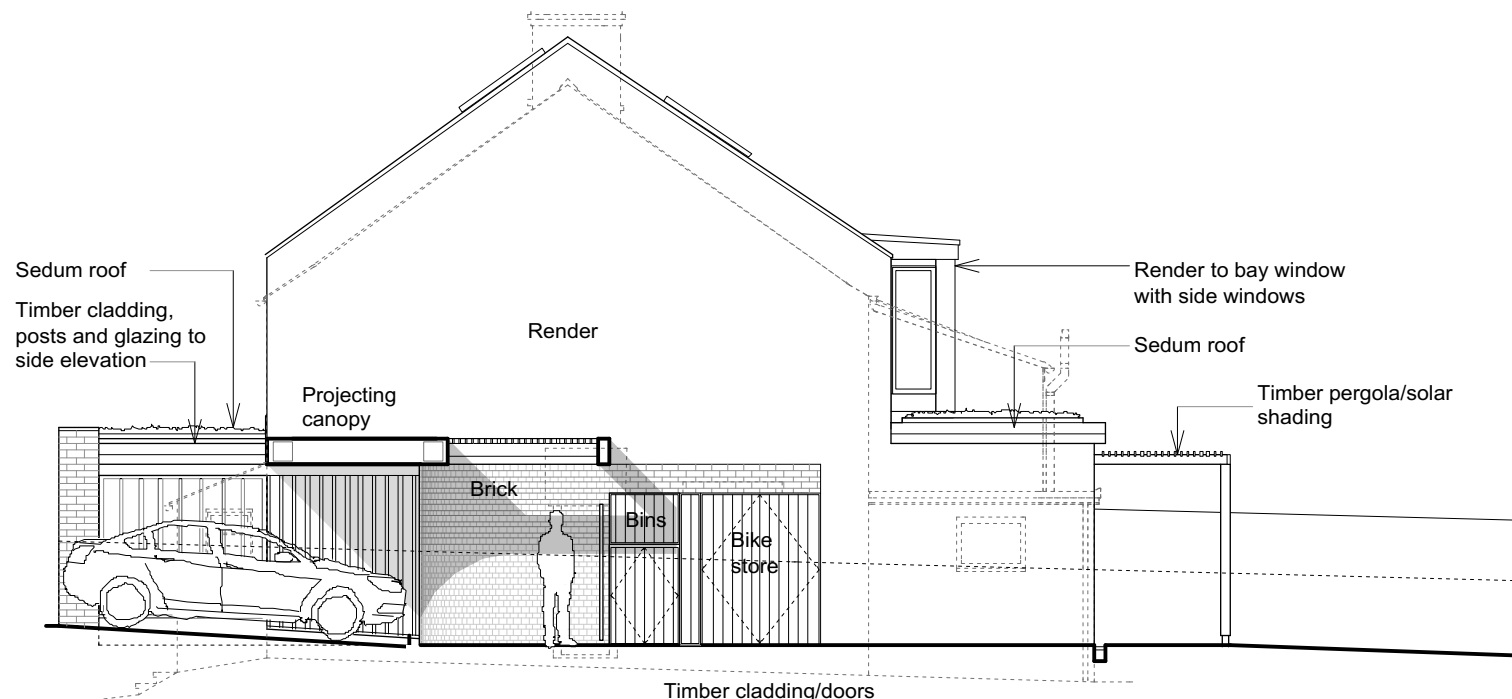


FRONT (NORTH) ELEVATION
MIDDLE STREET.

NOTE:
Glazing on front and rear elevations,
where less than 25M from opposing
windows, is screened behind timber
cladding (see larger scale elevation
sheets).

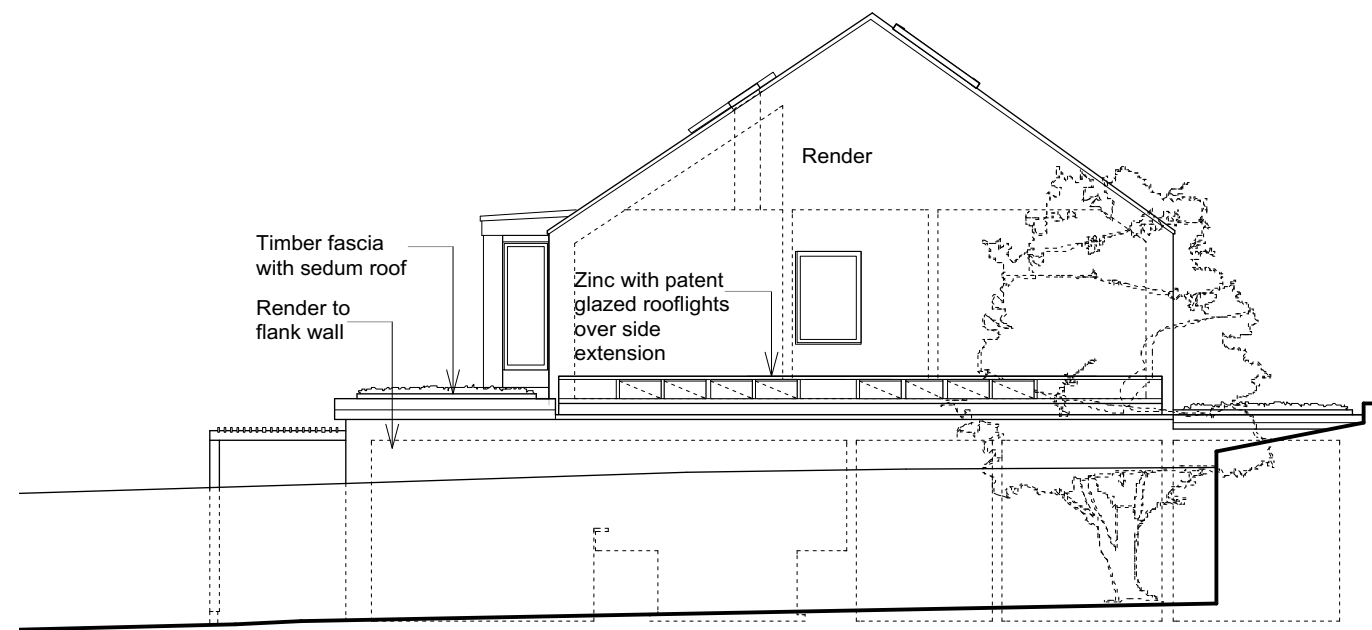


REAR (SOUTH) ELEVATION
GARDEN.

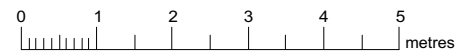


SIDE (WEST) ELEVATION
PASSAGE BY 'SCAFELL'.

Timber cladding/doors
extended to create
walk-in storage for
bikes and Plant Rm.



SIDE (EAST) ELEVATION
GARDEN 2 CLIFTON VILLAS.



REVISIONS
REV C

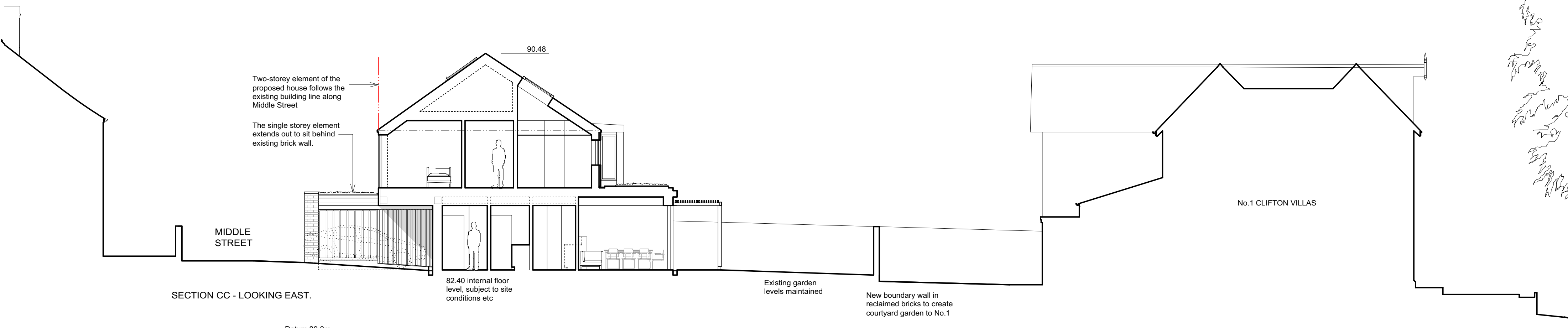
Single storey front extension reduced in width to improve parking/access,
and bin store/bike store revised to create a larger Plant Rm.



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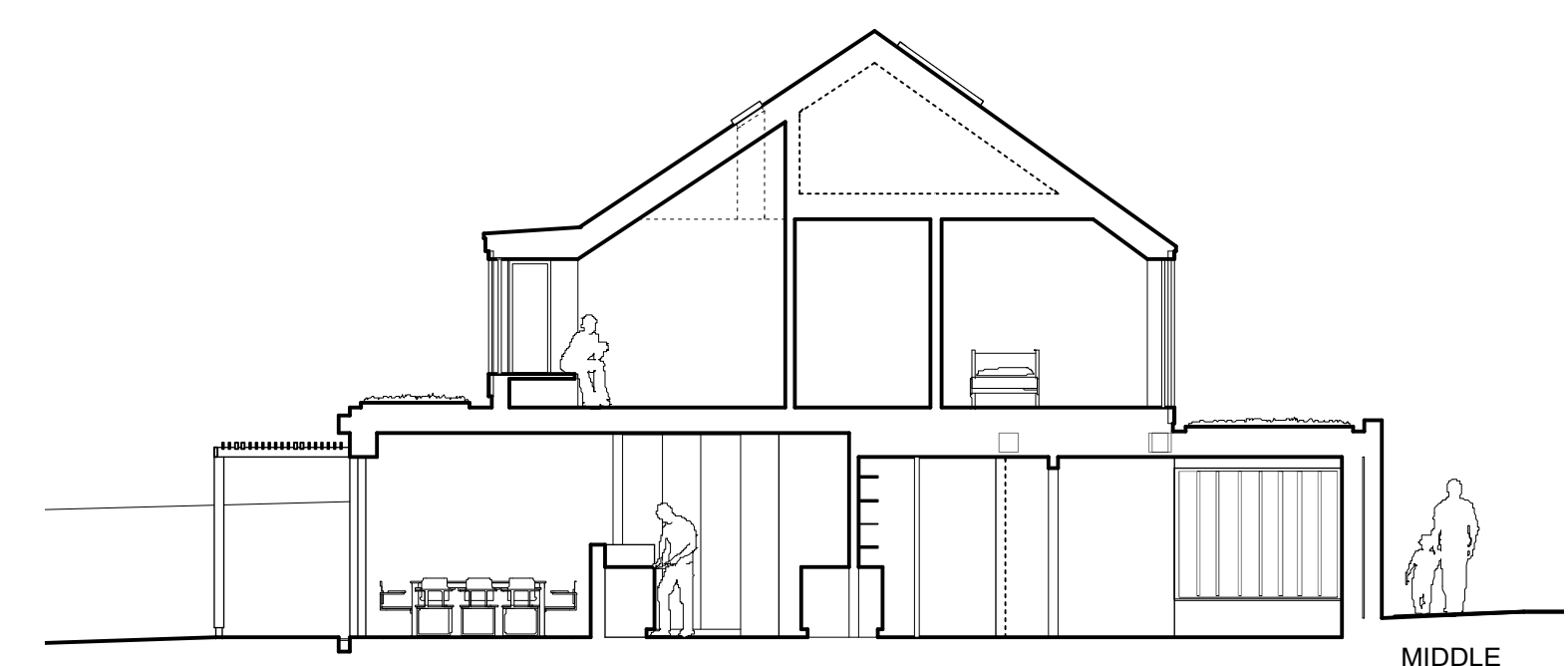
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Project	1 Clifton Villas - garden plot		
Dwg title	PROPOSED ELEVATIONS		
Scale	1:100@A3	117.P.05	Rev
Date	MAY 2021		B

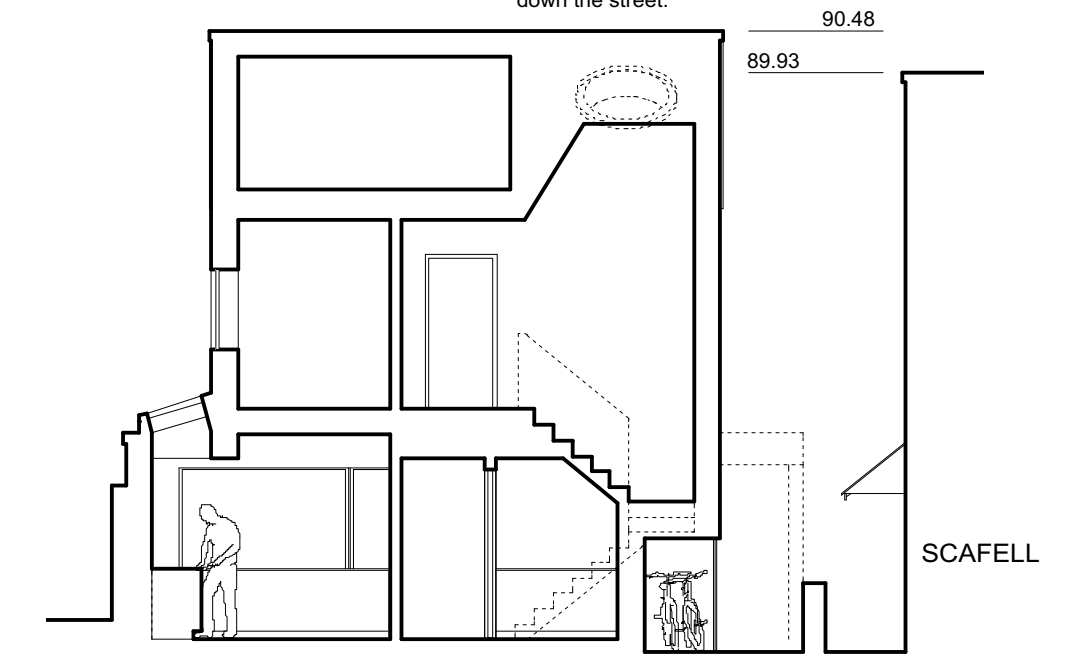


SECTION CC - LOOKING EAST.

Datum 80.0m



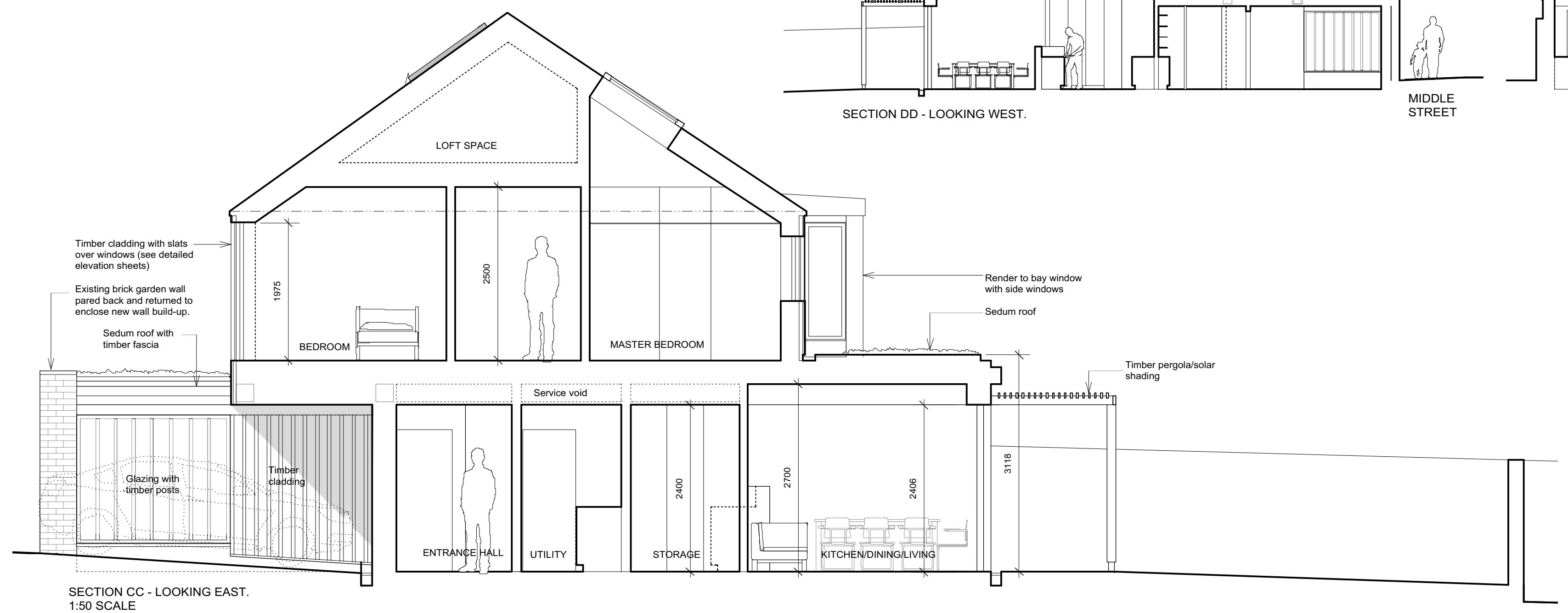
SECTION DD - LOOKING WEST.



SECTION EE - LOOKING SOUTH.



NOTE:
Ridgeline relative to neighbouring property and approx 550mm stepped roofs further down the street.



SECTION CC - LOOKING EAST.
1:50 SCALE

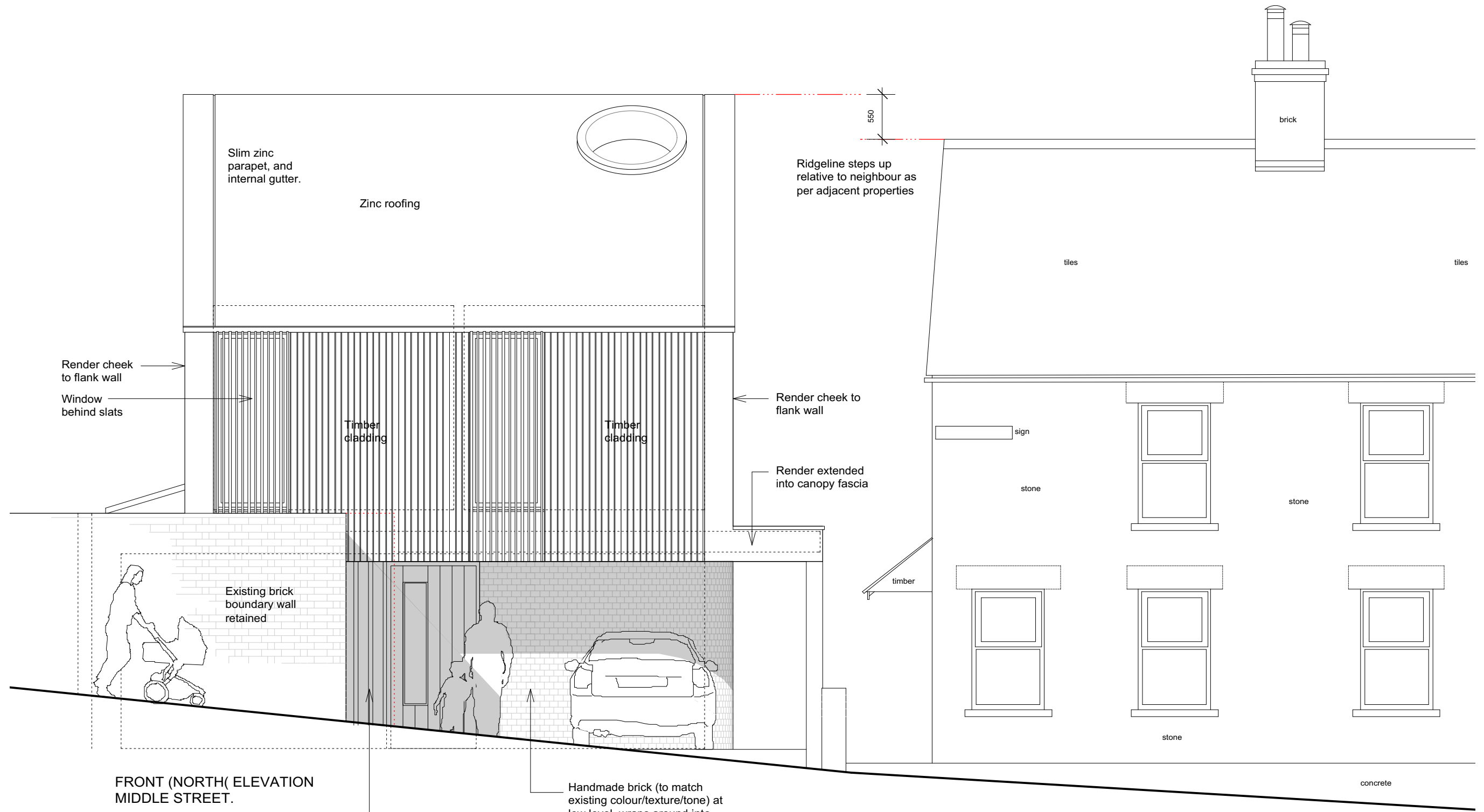


SIDE (EAST) ELEVATION
GARDEN 2 CLIFTON VILLAS.

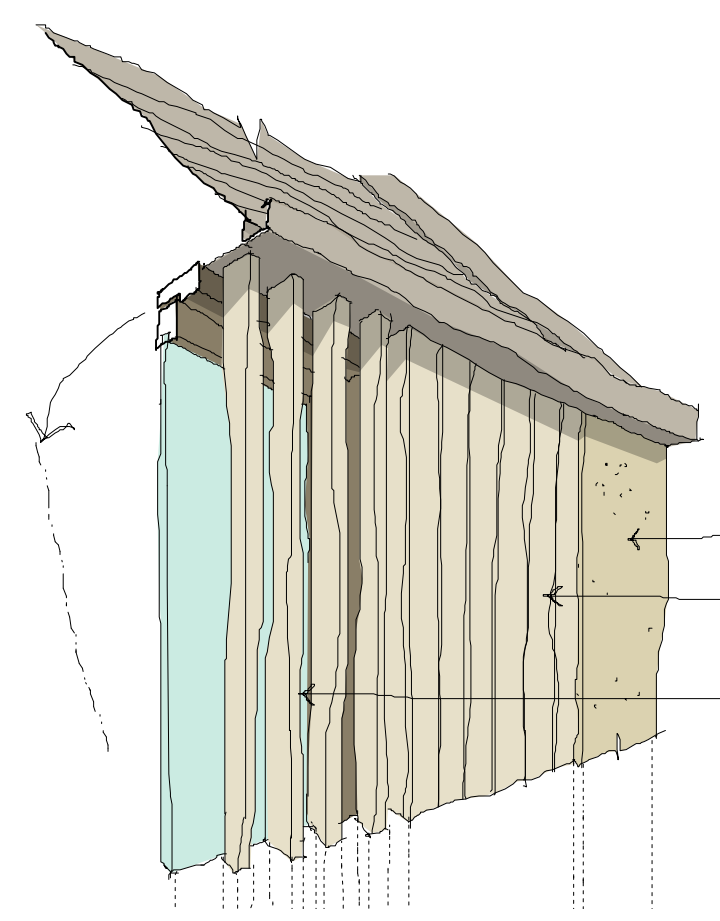
REVISIONS
REV B
Cladding change to front single storey extension, and internal re-planning revisions.

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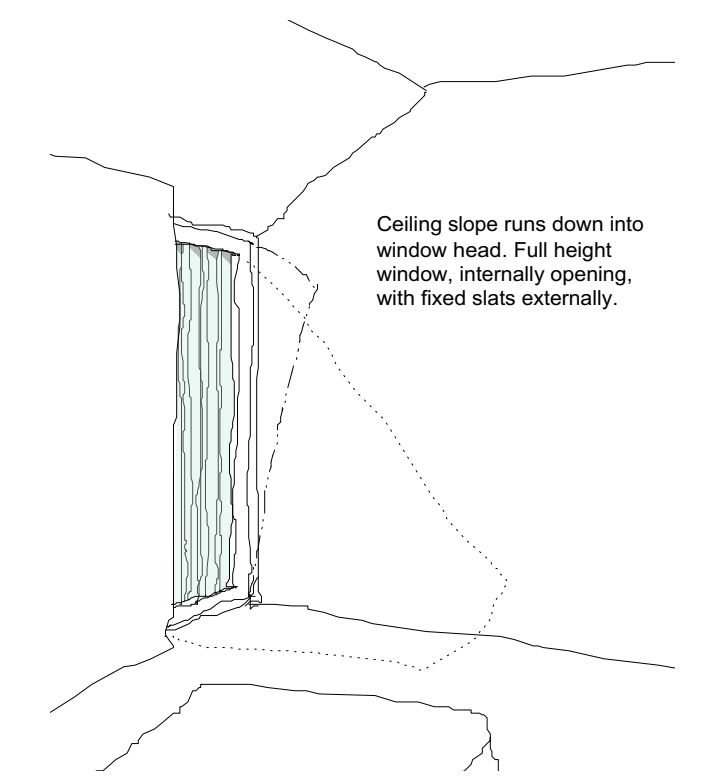
Project	1 Clifton Villas - garden plot	
Dwg title	PROPOSED SECTIONS	
Scale	1:100@A2	117.P.06
Date	MAY 2021	
Rev		B



FRONT (NORTH) ELEVATION MIDDLE STREET.



Where there is glazing it is treated as a full-height element with pvc aluminium fascia above and below the actual window unit, then full-height timber slats as screening in front.

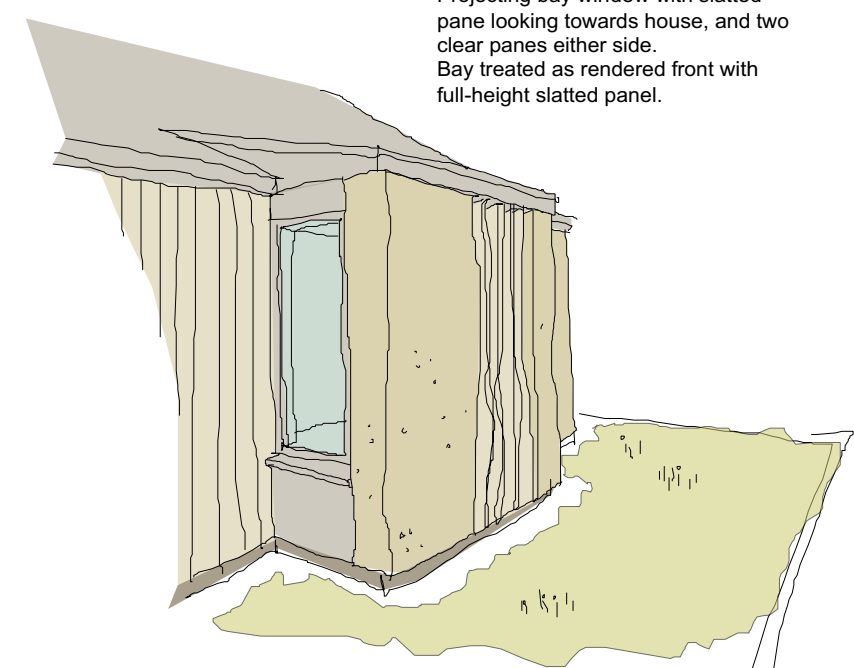


Ceiling slope runs down into window head. Full height window, internally opening, with fixed slats externally.

Render cladding contains front and rear elevations
Vertical timber cladding (stained or natural/S100?)
25 x 75mm vertical timber batten in front of glazing, with internal opening bottom hung window internally

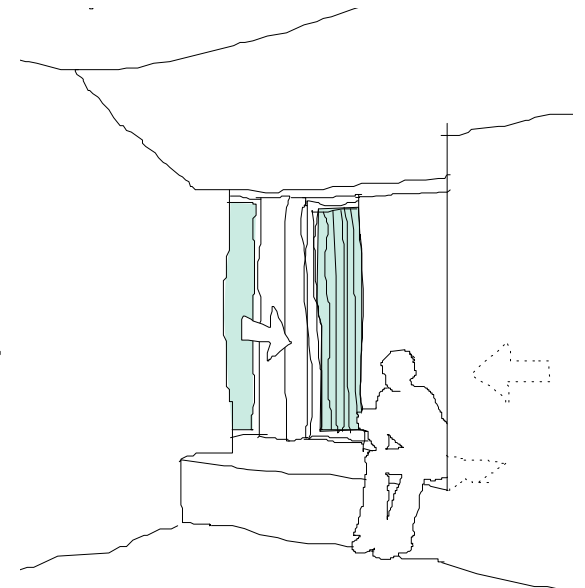


Timber slats in front of glazing will minimise any sense of overlooking whilst allowing good daylight levels and natural ventilation into bedrooms.



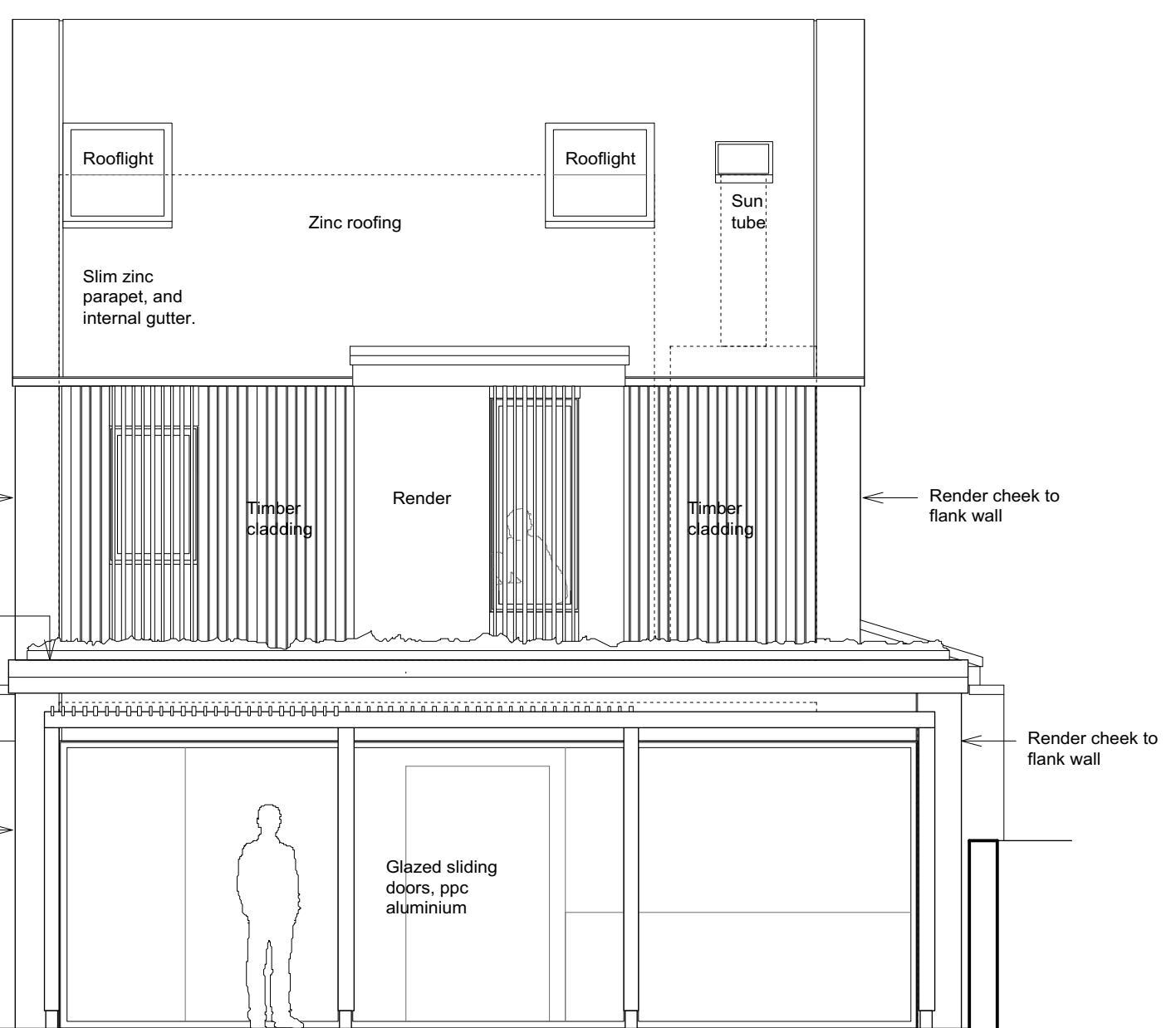
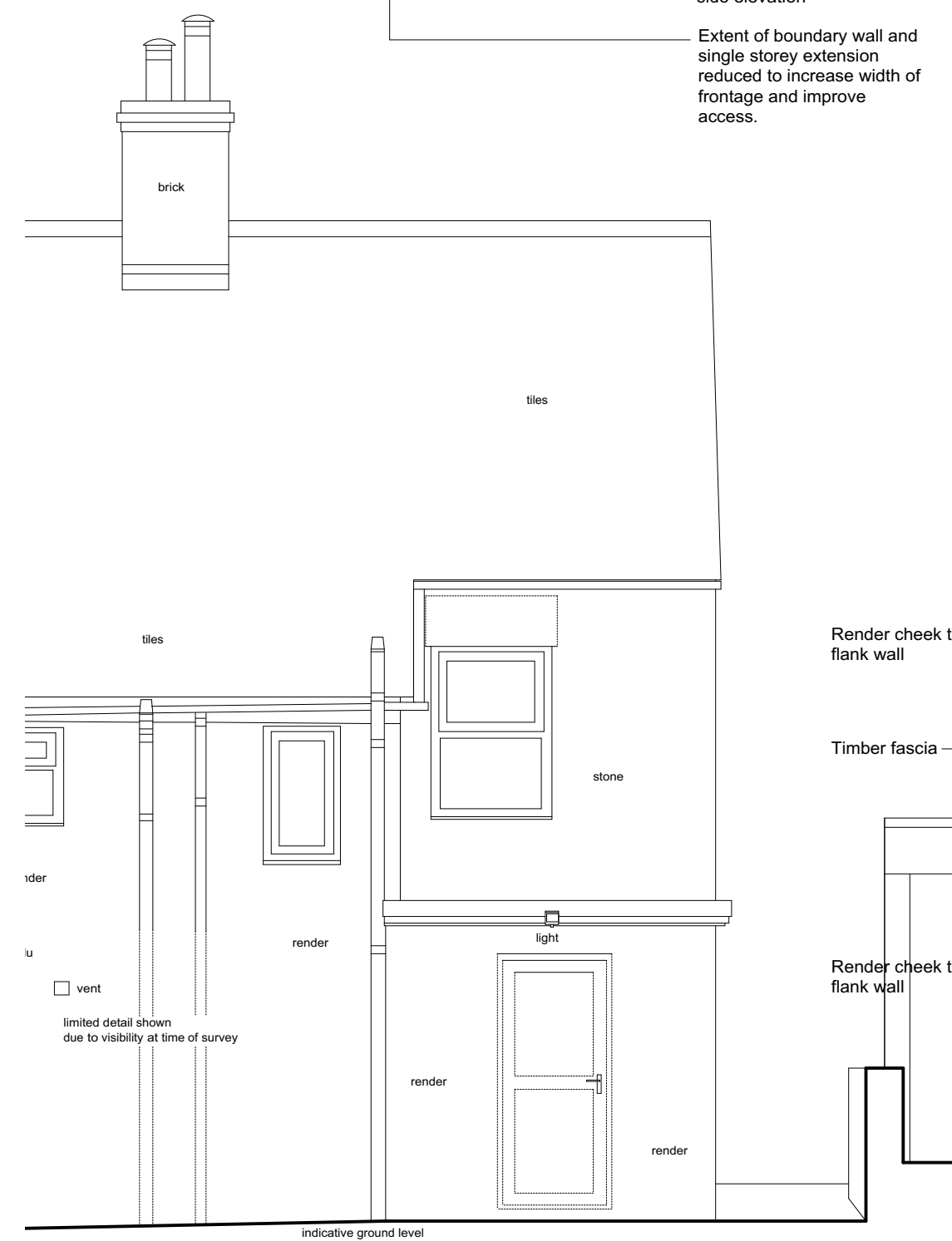
Projecting bay window with slatted pane looking towards house, and two clear panes either side. Bay treated as rendered front with full-height slatted panel.

SECTION CC - LOOKING EAST. 1:50 SCALE




Morning and evening sun through side panes, and slatted 'view' to garden

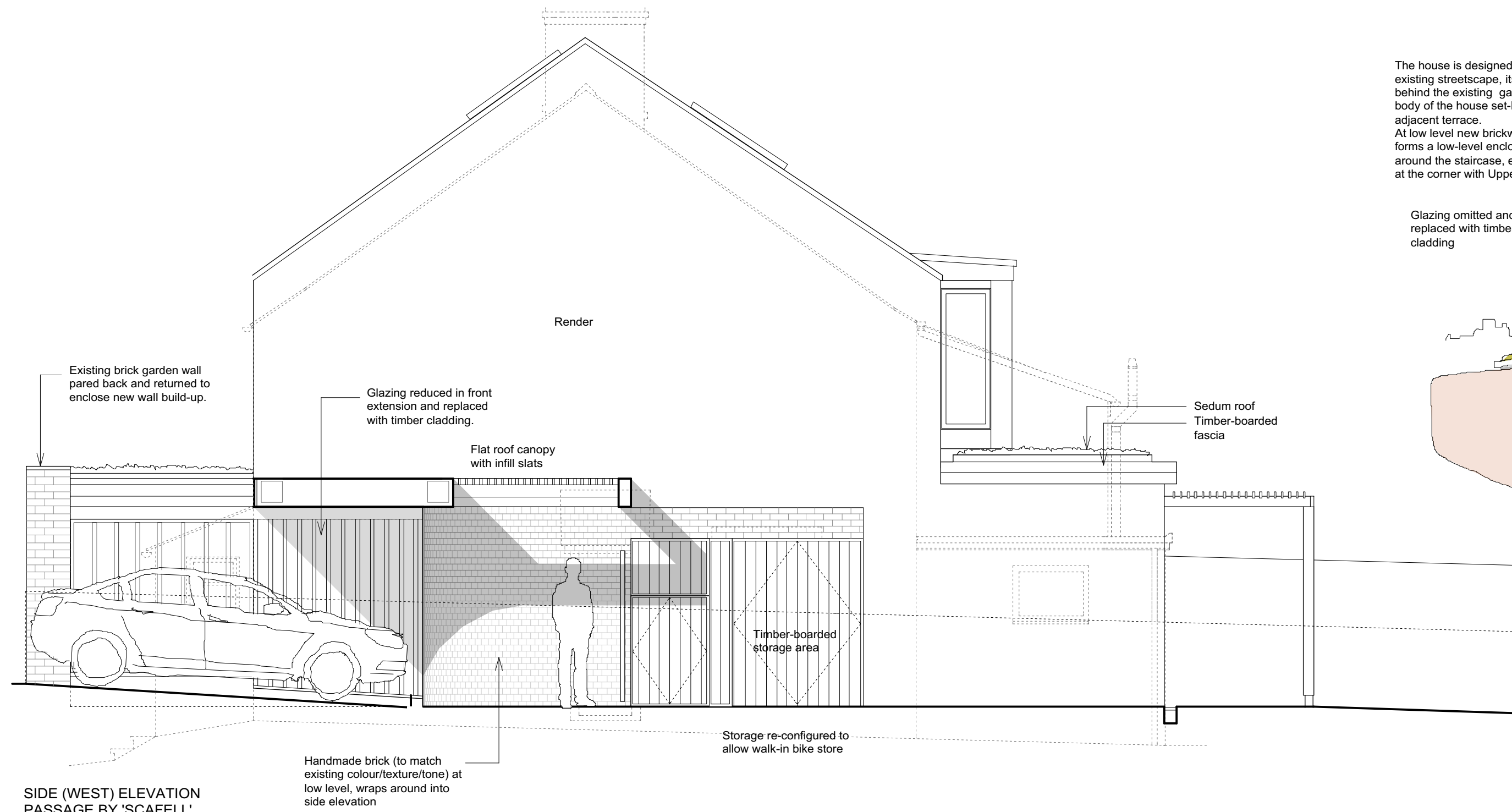
REV C - Boundary wall and front extension reduced in width to increase width of frontage.



REAR (SOUTH) ELEVATION GARDEN.



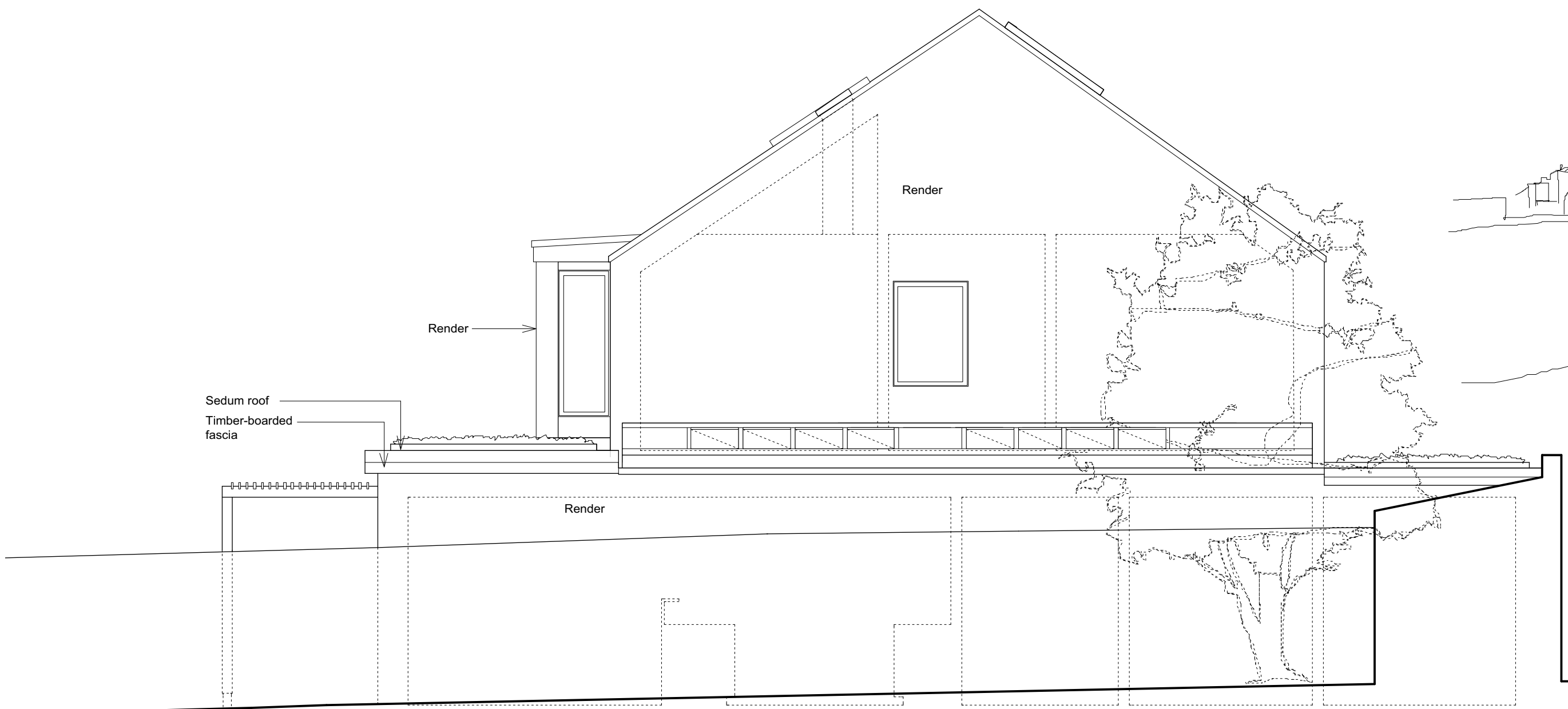
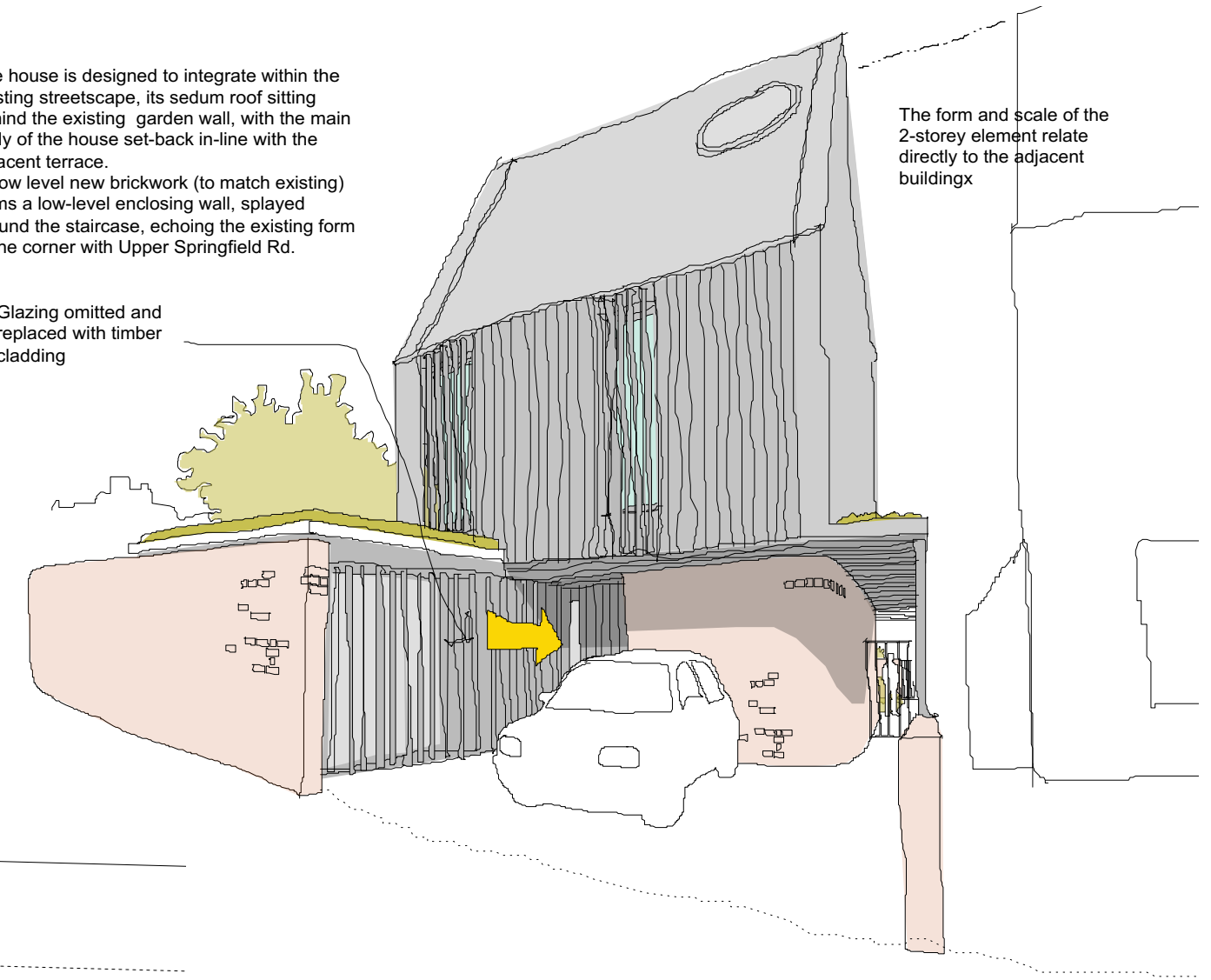
 <p>andrew davy architect BA Hons Dip Arch RIBA Atelier, 19A Lower St, Stroud, Gloucestershire, GL5 2HT M. 07958 084090 mail@andrewdavy.co.uk</p>	Project	1 Clifton Villas - garden plot
	Dwg title	PROPOSED ELEVATIONS
	Scale	1:50@A2
	Date	MAY 2021
	117.P.07	Rev C



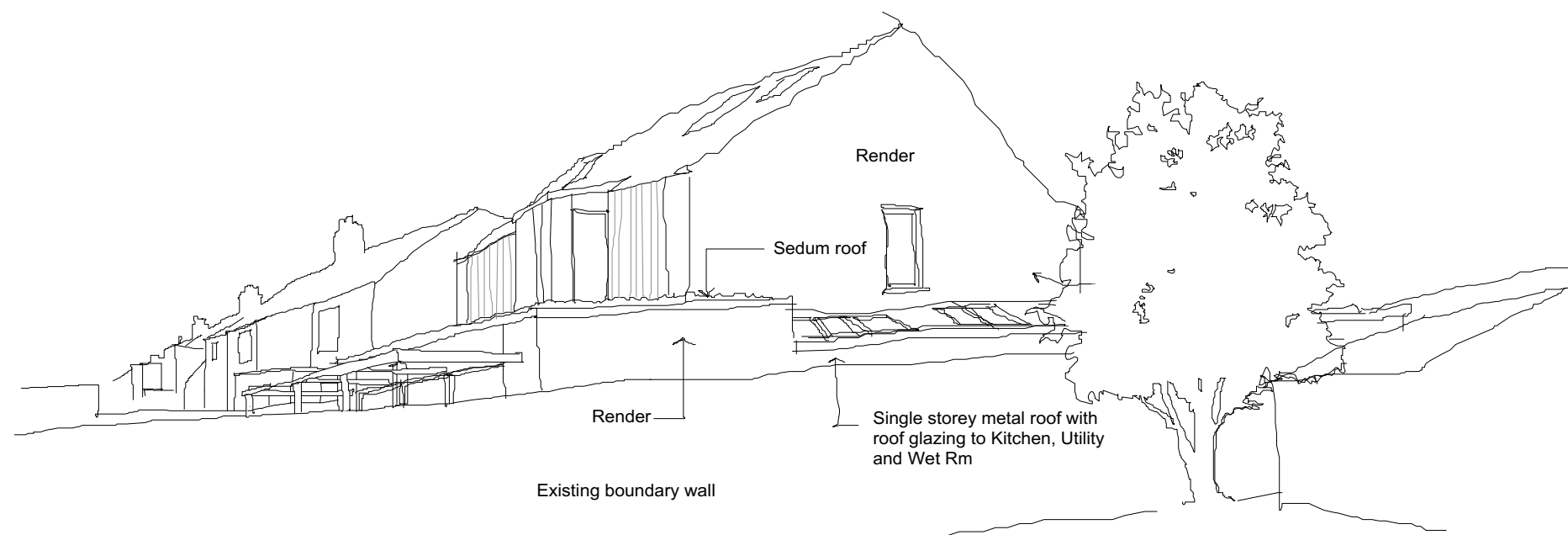
SIDE (WEST) ELEVATION
PASSAGE BY 'SCAFELL'.

The house is designed to integrate within the existing streetscape, its sedum roof sitting behind the existing garden wall, with the main body of the house set-back in-line with the adjacent terrace.
At low level new brickwork (to match existing) forms a low-level enclosing wall, splayed around the staircase, echoing the existing form at the corner with Upper Springfield Rd.

Glazing omitted and replaced with timber cladding




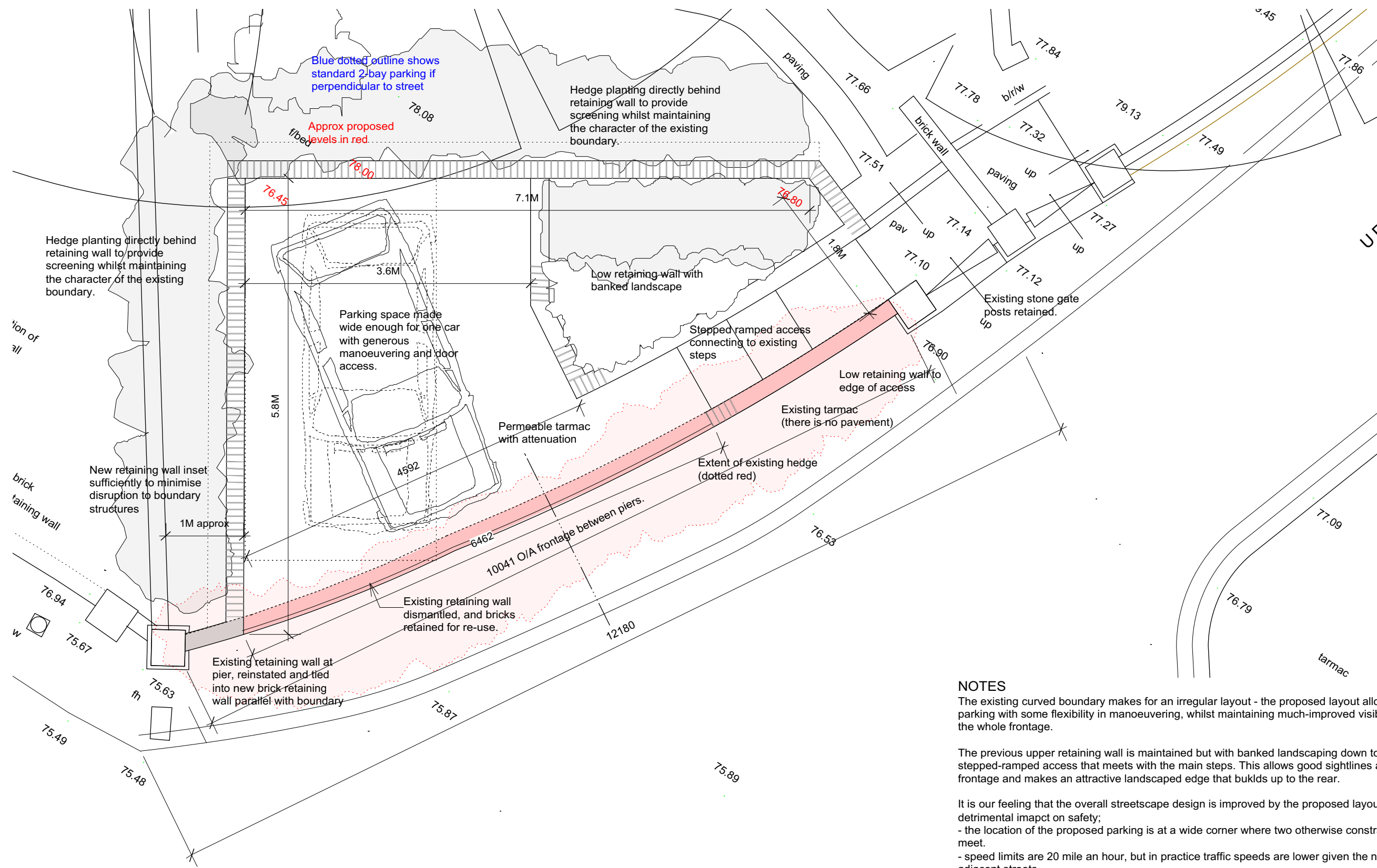
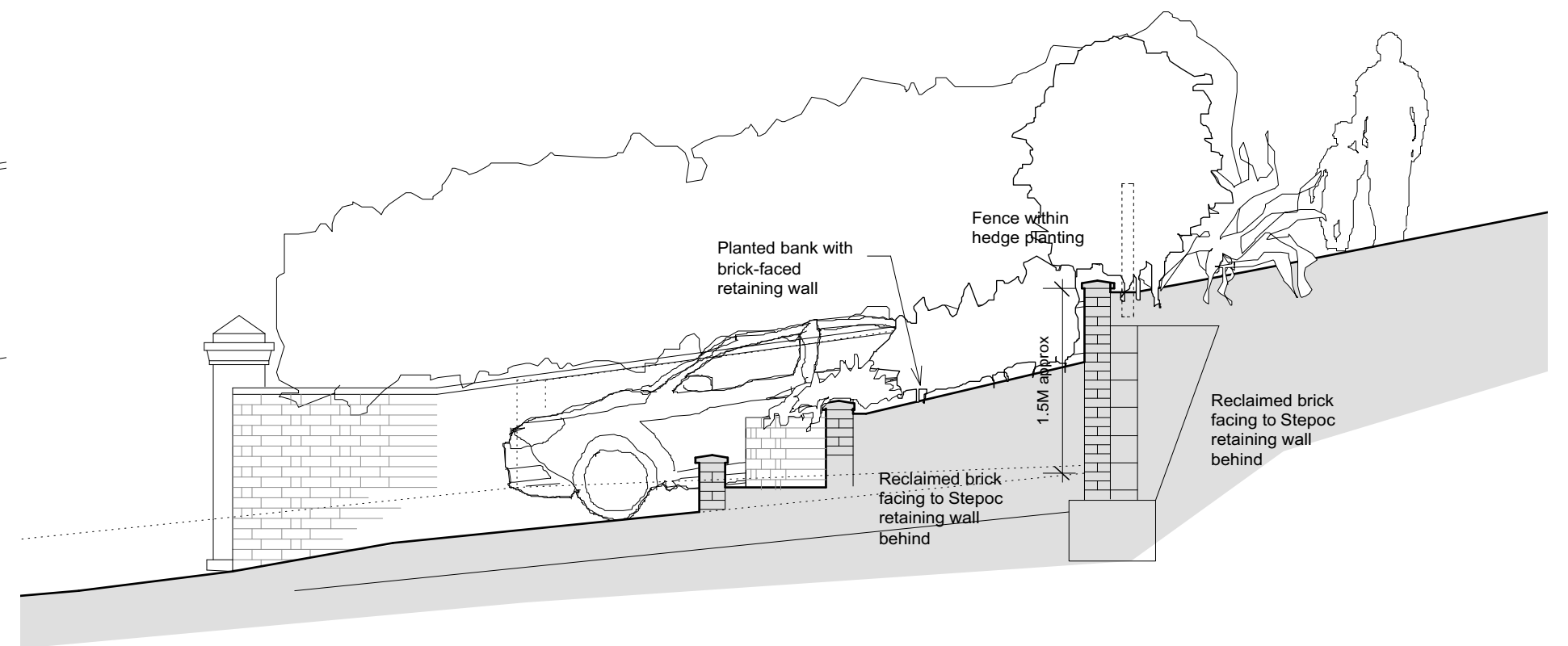
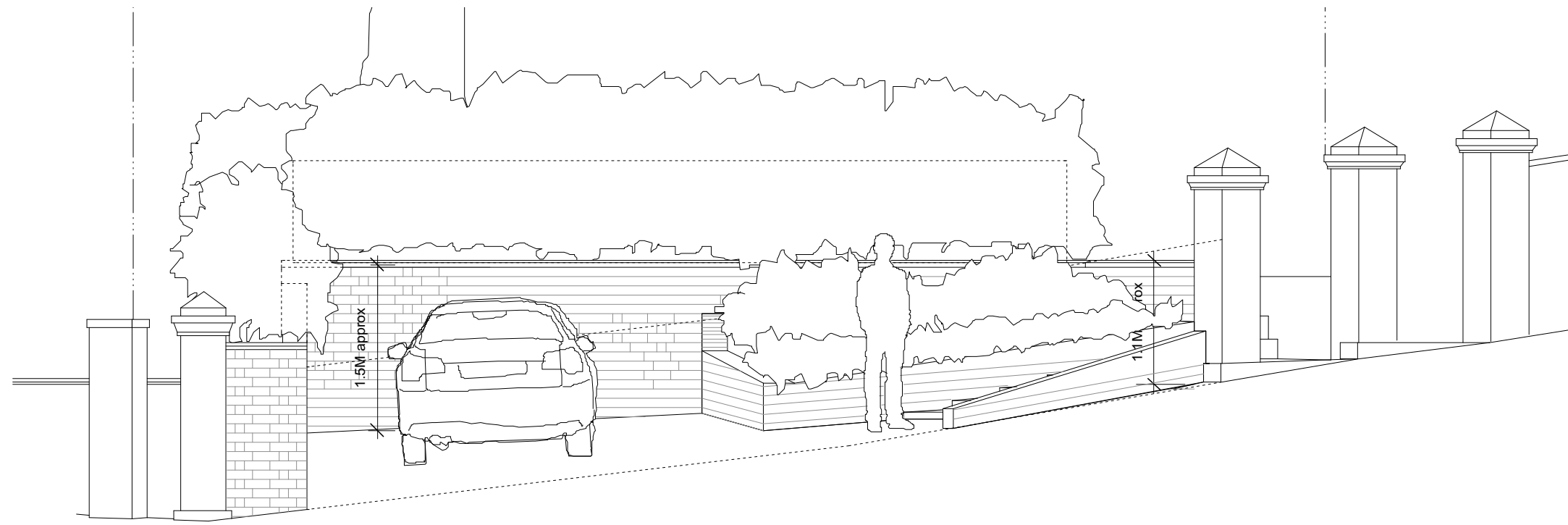
SIDE (EAST) ELEVATION
GARDEN 2 CLIFTON VILLAS.



REV C - Side storage revised and area of glazing reduced on front extension - replaced with timber cladding.



 andrew davy architect <small>BA Hons Dip Arch RIBA</small> Atelier, 19A Lower St, Stroud, Gloucestershire, GL5 2HT M. 07958 084090 mail@andrewdavy.co.uk	Project	1 Clifton Villas - garden plot	117.P.08 Rev C
	Dwg title	PROPOSED ELEVATIONS	
	Scale	1:50@A2	
	Date	MAY 2021	



The existing boundary has a well established hedge behind a brick retaining wall (which is wholly hidden)

The proposals create a new brick retaining wall around two sides, built in reclaimed bricks to match existing. A new hedge is planted behind the wall to recreate a similar character, albeit set back from the road.



NOTES

The existing curved boundary makes for an irregular layout - the proposed layout allows for one-car parking with some flexibility in manoeuvring, whilst maintaining much-improved visibility across the whole frontage.

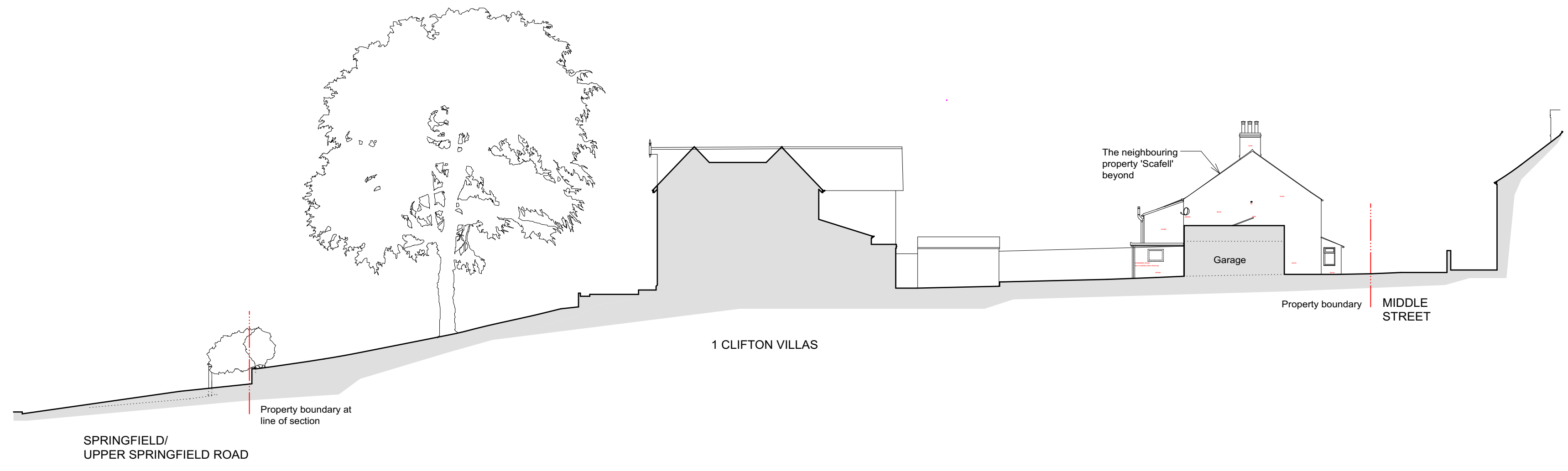
The previous upper retaining wall is maintained but with banked landscaping down to an easy stepped-ramped access that meets with the main steps. This allows good sightlines across the frontage and makes an attractive landscaped edge that bukdids up to the rear.

It is our feeling that the overall streetscape design is improved by the proposed layout without detrimental impact on safety;

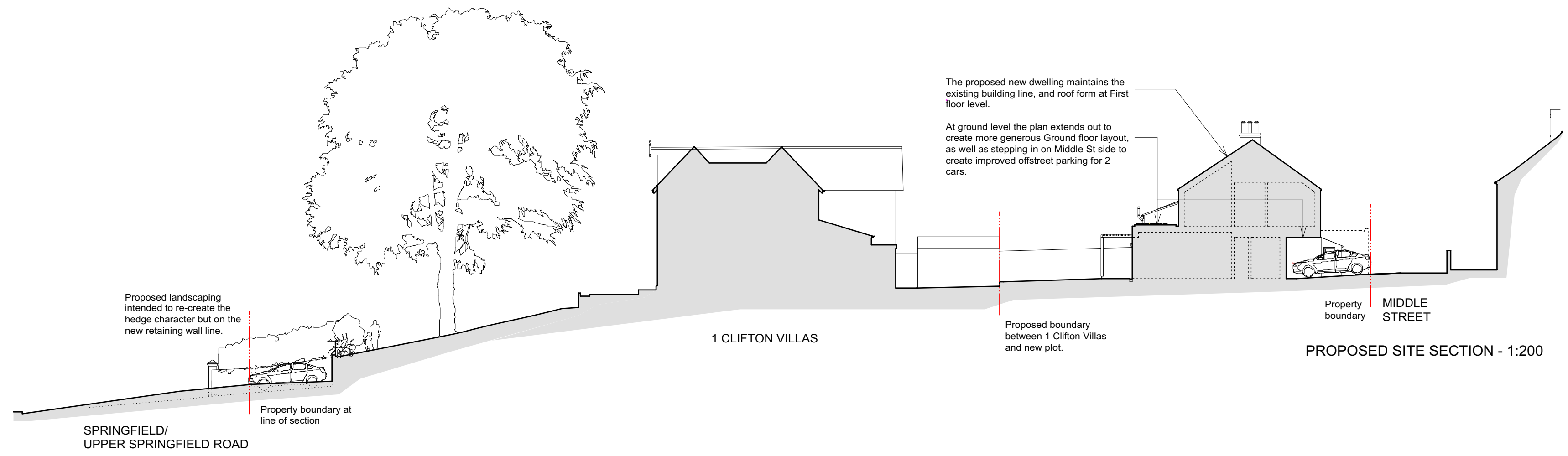
- the location of the proposed parking is at a wide corner where two otherwise constrained roads meet.
- speed limits are 20 mile an hour, but in practice traffic speeds are lower given the nature of the adjacent streets.
- with the removal of the hedge and boundary wall, visibility at this corner will be much improved, and the pavement between Springfield and Upper Springfield Rd is on the other side of the street, clear from any cars pulling out.

<p>andrew davy architect BA Hons Dip Arch RIBA</p> <p>Atelier, 19A Lower St, Stroud, Gloucestershire, GL5 2HT M. 07958 084090 mail@andrewdavy.co.uk</p>	Project	1 Clifton Villas
	Dwg title	PROPOSED OFFSTREET PARKING
	Scale	1:50@A2
	Date	MAY 2021
	117.P.09	Rev C





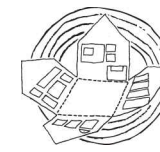
SECTION AA
EXISTING SITE SECTION - 1:200



SECTION BB
PROPOSED SITE SECTION - 1:200



Atelier, 19A Lower St, Stroud, Gloucestershire, GL5 2HT M. 07958 084090 mail@andrewdavy.co.uk	
Project	1 Clifton Villas - garden plot
Dwg title	EXISTING AND PROPOSED SITE SECTIONS
Scale	1:200@A2
Date	MAY 2021
117.P.02	Rev A

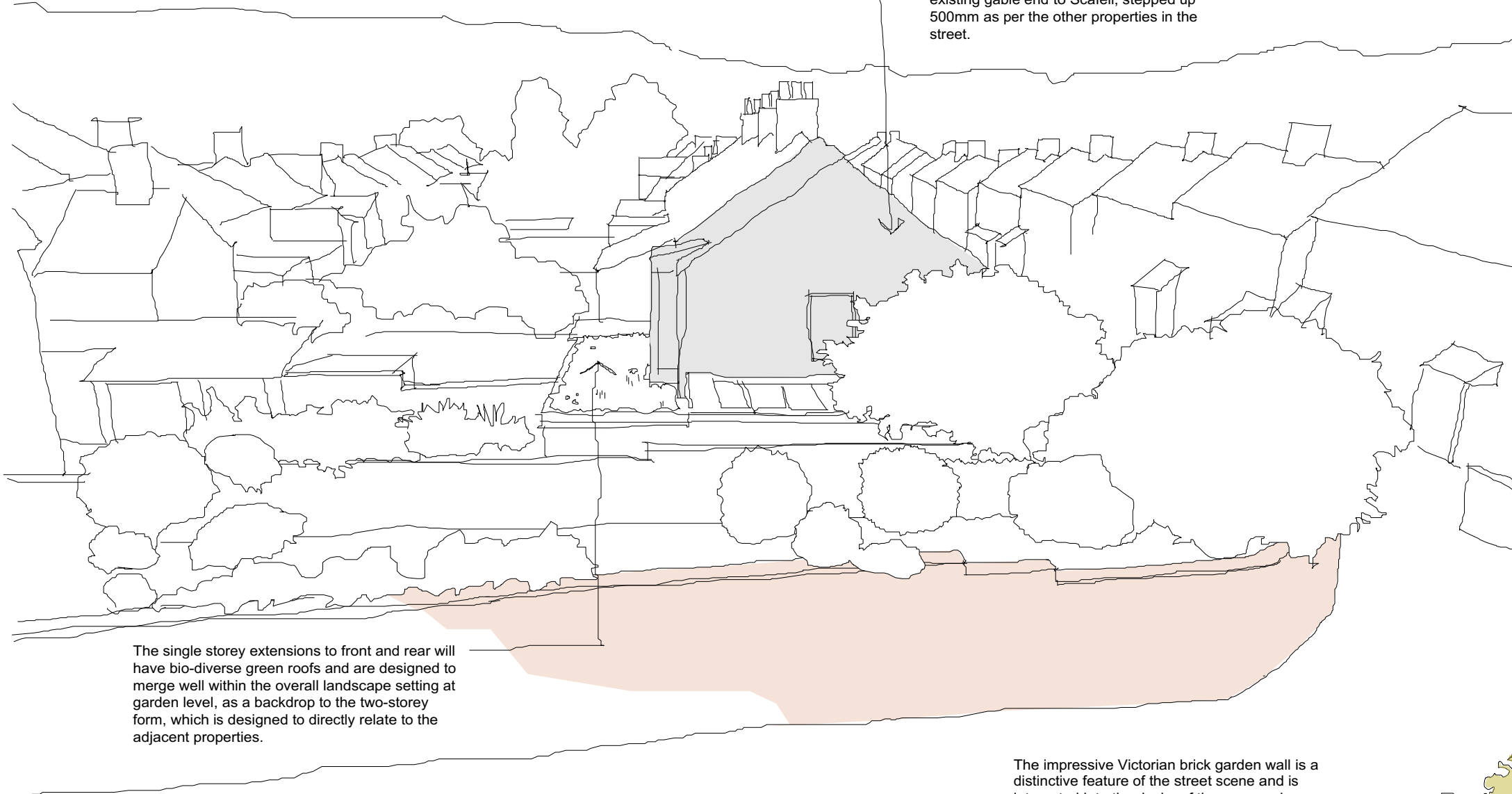


Project	1 Clifton Villas - garden plot		
Dwg title	OVERVIEW SKETCH SHEET		
Scale	NTS	117.SK.03	Rev
Date	SEP 2021		A

SUSTAINABLE DEVELOPMENT

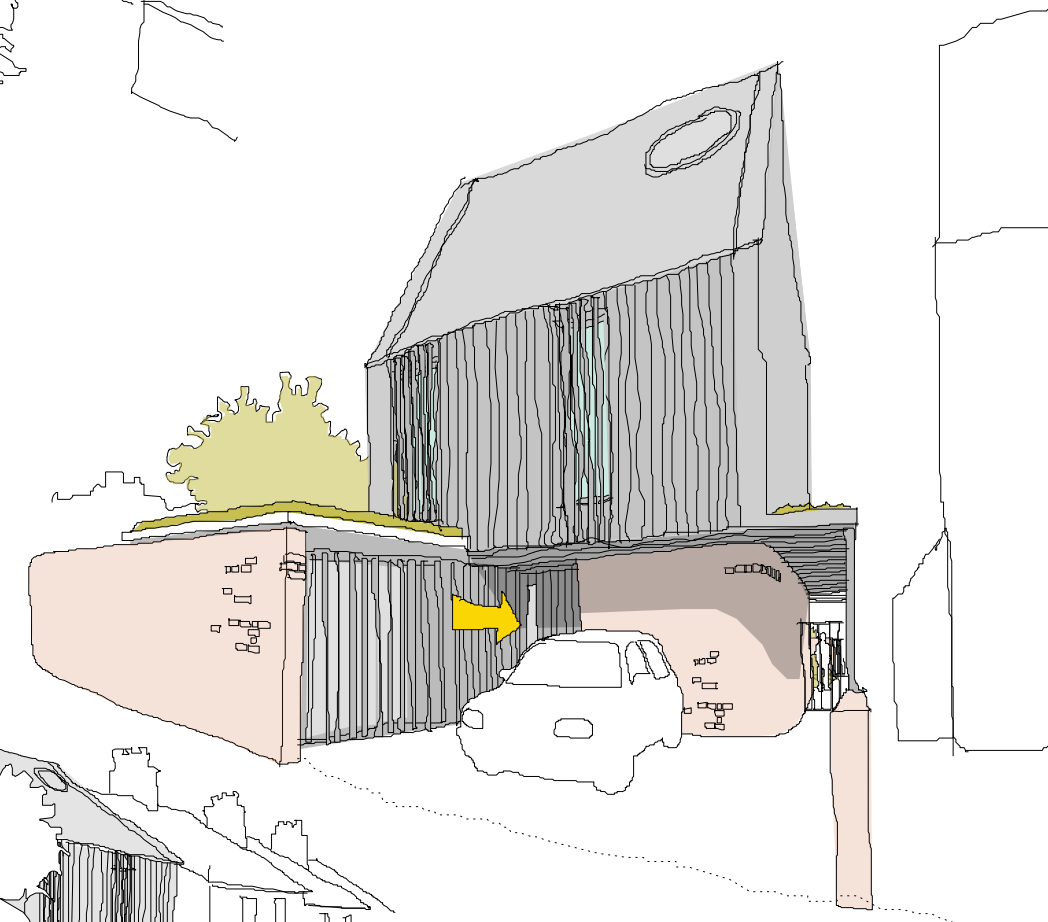
- the building will employ sustainable, low-energy design and construction techniques to minimise energy consumption.
- the design is respectful of its surroundings and topography and is proportionate to its context.
- the design creates no unacceptable adverse affects on the amenities of neighbouring occupants.
- the design contributes to a sense of place, integrating the characterful Victorian kitchen garden wall into the design.
- the design uses an existing developed site (not greenfield) and is efficient in terms of land-use whilst reflecting the density of the street.
- the proposed dwelling is within easy walking distance of the town centre and essential services, and with local post office, school and numerous public green spaces close by.

The 2-storey element of the proposed dwelling directly copies the same gable end profile, depth, ridge height, pitch as the existing gable end to Scaffell, stepped up 500mm as per the other properties in the street.

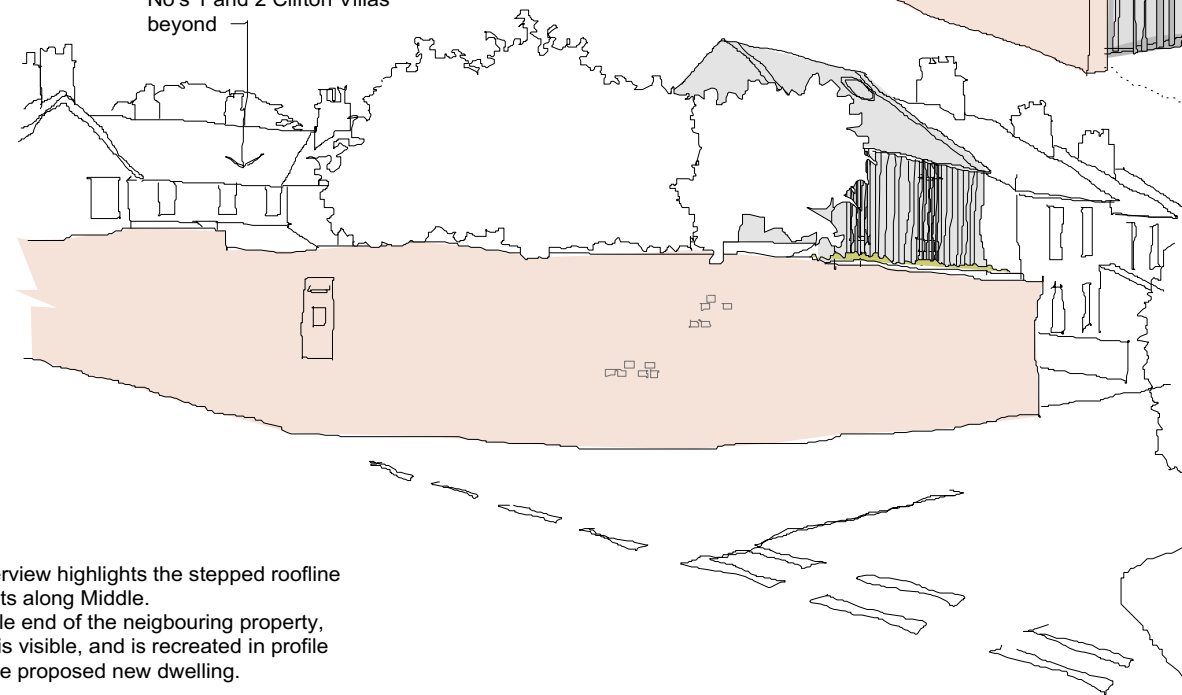


The single storey extensions to front and rear will have bio-diverse green roofs and are designed to merge well within the overall landscape setting at garden level, as a backdrop to the two-storey form, which is designed to directly relate to the adjacent properties.

The impressive Victorian brick garden wall is a distinctive feature of the street scene and is integrated into the design of the proposed dwelling, with green roof front extension sitting behind, and matching brickwork used within the ground floor external walling, which also echoes the curved corner.



No's 1 and 2 Clifton Villas beyond



This overview highlights the stepped roofline that exists along Middle. The gable end of the neighbouring property, Scaffell, is visible, and is recreated in profile within the proposed new dwelling.

Clifford, Adam

From: Gemma Davis <gem-dav@hotmail.co.uk>
Sent: 01 July 2021 20:07
To: Davis, Gemma















